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3 April 2023

Dear Councillor

NOTICE IS HEREBY GIVEN THAT a meeting of the **PLANNING COMMITTEE** will be held in the Council Chamber at these Offices on Thursday 13 April 2023 at 6.00 pm when the following business will be transacted.

Members of the public who require further information are asked to contact Democratic Services on (01304) 872303 or by e-mail at democraticservices@dover.gov.uk.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Nicky', written over a horizontal line.

Chief Executive

Planning Committee Membership:

J S Back (Chairman)
R S Walkden (Vice-Chairman)
M Bates
D G Beaney
E A Biggs
T A Bond
D G Cronk
D A Hawkes
P D Jull
C F Woodgate

AGENDA

- 1 **APOLOGIES**
To receive any apologies for absence.
- 2 **APPOINTMENT OF SUBSTITUTE MEMBERS**
To note appointments of Substitute Members.
- 3 **DECLARATIONS OF INTEREST** (Page 5)

To receive any declarations of interest from Members in respect of business to be transacted on the agenda.

4 **ITEMS DEFERRED** (Page 6)

To consider the attached report of the Head of Planning and Development.

ITEMS WHICH ARE SUBJECT TO PUBLIC SPEAKING
(Pages 7-11)

5 **APPLICATION NO DOV/22/01379 - BETTESHANGER SUSTAINABLE PARKS, BETTESHANGER ROAD, BETTESHANGER** (Pages 12-31)

Reserved Matters application for the details of landscaping, layout, access, scale and appearance for the residential phase of approved outline permission DOV/20/00419 (outline permission with all matters reserved for up to 210 dwellings (including up to 12 self-build plots), together with up to 2,500 sqm of office floorspace and up to 150 sqm of retail floorspace)

To consider the attached report of the Head of Planning and Development.

6 **APPLICATION NO DOV/22/00472 - STABLES, GREAT KNELL FARM, KNELL LANE, ASH**

Change of use and conversion of existing granary building to residential dwelling

To consider the report of the Head of Planning and Development (to follow).

7 **APPLICATION NO DOV/22/01707 - LAND BETWEEN MINNIS TERRACE AND 110 HILLSIDE ROAD, DOVER** (Pages 32-44)

Erection of three dwellings with associated landscaping and parking (garages to be demolished)

To consider the attached report of the Head of Planning and Development.

8 **APPLICATION NO DOV/22/00817 - LAND AT CHURCH FIELD FARM, THE STREET, SHOLDEN** (Pages 45-62)

Reserved Matters application pursuant to outline permission DOV/17/01345 for 48 dwellings, up to 64-bedroom care home, associated infrastructure, landscaping, layout, scale and appearance

To consider the attached report of the Head of Planning and Development.

9 **APPLICATION NO DOV/22/01400 - TRINITY METHODIST CHURCH, UNION ROAD, DEAL** (Pages 63-68)

Extension of existing vehicle access, installation of bollard and security lighting to front and side elevations (part retrospective)

To consider the attached report of the Head of Planning and Development.

10 **APPLICATION NO DOV/22/00669 - LYDDEN INTERNATIONAL RACE CIRCUIT, DUMBRILL HILL, WOOTTON**

Alterations to existing track layout to include formation of banked turn and earth formed tabletop jump (retrospective application)

To consider the report of the Head of Planning and Development (to follow).

11 **APPLICATION NO DOV/21/01822 - LAND ON THE WEST SIDE OF CROSS ROAD, DEAL**

Outline planning application for the erection of up to 140 dwellings including affordable housing, with public open space, landscaping and vehicular access (all matters reserved except for access)

To consider the report of the Head of Planning and Development (to follow).

ITEMS WHICH ARE NOT SUBJECT TO PUBLIC SPEAKING

12 **APPEALS AND INFORMAL HEARINGS**

To receive information relating to Appeals and Informal Hearings, and appoint Members as appropriate.

13 **ACTION TAKEN IN ACCORDANCE WITH THE ORDINARY DECISIONS (COUNCIL BUSINESS) URGENCY PROCEDURE**

To raise any matters of concern in relation to decisions taken under the above procedure and reported on the Official Members' Weekly News.

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The meetings in which these cameras will be used include meetings of: (a) Council; (b) Cabinet; (c) General Purposes Committee; (d) Electoral Matters Committee; (e) Governance Committee; (f) Planning Committee; (g) General Purposes Committee and (h) Overview and Scrutiny Committee. Only agenda items open to the press and public to view will be broadcast.

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Large print copies of this agenda can be supplied on request.

Declarations of Interest

Disclosable Pecuniary Interest (DPI)

Where a Member has a new or registered DPI in a matter under consideration they must disclose that they have an interest and, unless the Monitoring Officer has agreed in advance that the DPI is a 'Sensitive Interest', explain the nature of that interest at the meeting. The Member must withdraw from the meeting at the commencement of the consideration of any matter in which they have declared a DPI and must not participate in any discussion of, or vote taken on, the matter unless they have been granted a dispensation permitting them to do so. If during the consideration of any item a Member becomes aware that they have a DPI in the matter they should declare the interest immediately and, subject to any dispensations, withdraw from the meeting.

Other Significant Interest (OSI)

Where a Member is declaring an OSI they must also disclose the interest and explain the nature of the interest at the meeting. The Member must withdraw from the meeting at the commencement of the consideration of any matter in which they have declared a OSI and must not participate in any discussion of, or vote taken on, the matter unless they have been granted a dispensation to do so or the meeting is one at which members of the public are permitted to speak for the purpose of making representations, answering questions or giving evidence relating to the matter. In the latter case, the Member may only participate on the same basis as a member of the public and cannot participate in any discussion of, or vote taken on, the matter and must withdraw from the meeting in accordance with the Council's procedure rules.

Voluntary Announcement of Other Interests (VAOI)

Where a Member does not have either a DPI or OSI but is of the opinion that for transparency reasons alone s/he should make an announcement in respect of a matter under consideration, they can make a VAOI. A Member declaring a VAOI may still remain at the meeting and vote on the matter under consideration.

Note to the Code:

Situations in which a Member may wish to make a VAOI include membership of outside bodies that have made representations on agenda items; where a Member knows a person involved, but does not have a close association with that person; or where an item would affect the well-being of a Member, relative, close associate, employer, etc. but not his/her financial position. It should be emphasised that an effect on the financial position of a Member, relative, close associate, employer, etc OR an application made by a Member, relative, close associate, employer, etc would both probably constitute either an OSI or in some cases a DPI.

DOVER DISTRICT COUNCIL

REPORT OF THE HEAD OF PLANNING AND DEVELOPMENT

PLANNING COMMITTEE – 13 APRIL 2023

**CONSIDERATION OF THE FOLLOWING ITEMS HAS BEEN
DEFERRED AT PREVIOUS MEETINGS**

Members of the Planning Committee are asked to note that the following application(s) have been deferred at previous meetings. Unless specified, these applications are not for determination at the meeting since the reasons for their deferral have not yet been resolved.

DOV/21/01615 **Erection of 29 dwellings with associated access, parking and landscaping (existing industrial buildings to be demolished) – The Old Malthouse, Easole Street, Nonington (Agenda Item 7 of 23 February 2023)**

Background Papers:

Unless otherwise stated, the appropriate application file, the reference of which is stated.

SARAH PLATTS
Head of Planning and Development

The Officer to whom reference should be made concerning inspection of the background papers is Alice Fey, Planning Support and Land Charges Manager, Planning Department, Council Offices, White Cliffs Business Park, Dover (Tel: 01304 872468).

APPLICATIONS WHICH MAY BE SUBJECT TO PUBLIC SPEAKING

The Reports

The file reference number, a description of the proposal and its location are identified under a) of each separate item. The relevant planning policies and guidance and the previous planning history of the site are summarised at c) and d) respectively.

The views of third parties are set out at e); the details of the application and an appraisal of the proposal are set out at f) and each item concludes with a recommendation at g).

Additional information received prior to the meeting will be reported verbally. In some circumstances this may lead to a change in the recommendation.

Details of the abbreviated standard conditions, reasons for refusal and informatives may be obtained from the Planning Support Team Supervisor (Tel: 01304 872468).

It should be noted, in respect of points raised by third parties in support of or objecting to applications, that they are incorporated in this report only if they concern material planning considerations.

Each item is accompanied by a plan (for identification purposes only) showing the location of the site and the Ordnance Survey Map reference.

Site Visits

All requests for site visits will be considered on their merits having regard to the likely usefulness to the Committee in reaching a decision.

The following criteria will be used to determine usefulness:

- The matter can only be safely determined after information has been acquired directly from inspecting this site;
- There is a need to further involve the public in the decision-making process as a result of substantial local interest, based on material planning considerations, in the proposals;
- The comments of the applicant or an objector cannot be adequately expressed in writing because of age, infirmity or illiteracy.

The reasons for holding a Committee site visit must be included in the minutes.

Background Papers

Unless otherwise stated, the background papers will be the appropriate file in respect of each application, save any document which discloses exempt information within the meaning of the Local Government (Access to Information) Act 1985.

The Officer to whom reference should be made concerning inspection of the background papers is Alice Fey, Planning Support Team Supervisor, Planning Department, Council Offices, White Cliffs Business Park, Whitfield, Dover CT16 3PJ (Tel: 01304 872468).

IMPORTANT

The Committee should have regard to the following preamble during its consideration of all applications on this agenda

1. Section 70(2) of the Town and Country Planning Act 1990 requires that, in dealing with an application for planning permission, the local planning authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.
2. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that: 'If regard is to be had to the development plan for the purposes of any determination to be made under the Planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise'.
3. Planning applications which are in accordance with the relevant policies in the Development Plan should be allowed and applications which are not in accordance with those policies should not be allowed unless material considerations justify granting of planning permission. In deciding such applications, it should always be taken into account whether the proposed development would cause demonstrable harm to interests of acknowledged importance. In all cases where the Development Plan is relevant, it will be necessary to decide whether the proposal is in accordance with the Plan and then to take into account material considerations.
4. In effect, the following approach should be adopted in determining planning applications:
 - (a) if the Development Plan contains material policies or proposals and there are no other material considerations, the application should be determined in accordance with the Development Plan;
 - (b) where there are other material considerations, the Development Plan should be taken as the starting point and the other material considerations should be weighed in reaching a decision;
 - (c) where there are no relevant policies in the Development Plan, the planning application should be determined on its merits in the light of all material considerations; and
 - (d) exceptionally, a development proposal which departs from the Development Plan may be permitted because the contribution of that proposal to some material, local or national need or objective is so significant that it outweighs what the Development Plan says about it.
5. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that, in considering planning applications for development affecting a listed building or its setting, special regard shall be had to the desirability of preserving the building, its setting or any features of special architectural or historical interest which it possesses. Section 72 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of conservation areas when considering any applications affecting land or buildings within them. Section 16 requires that, when considering applications for listed building consent, special regard shall be had to the desirability of preserving the listed building, its setting, or features of special architectural or historic interest which it has.
6. Section 38(6) of the 2004 Act does not apply to the determination of applications for advertisement consent, listed building consent or conservation area consent. Applications for advertisement consent can be controlled only in the interests of amenity and public safety. However, regard must be had to policies in the Development Plan (as material considerations) when making such determinations.

The Development Plan

7. The Development Plan in Dover District is comprised of:

Dover District Core Strategy 2010
Dover District Land Allocations Local Plan 2015
Dover District Local Plan 2002 (saved policies)
Worth Neighbourhood Development Plan (2015)
Kent Minerals and Waste Local Plan 2016

Human Rights Act 1998

During the processing of all applications and other items and the subsequent preparation of reports and recommendations on this agenda, consideration has been given to the implications of the Human Rights Act 1998 in relation to both applicants and other parties and whether there would be any undue interference in the Convention rights of any person affected by the recommended decision.

The key articles are:-

Article 8 - Right to respect for private and family life, home and correspondence. There shall be no interference by a public authority with the exercise of this right except such as is in accordance with the law and is necessary in a democratic society in the interests of national security, public safety or the economic well being of the country, for the prevention of disorder or crime, for the protection of health or morals, or for the protection of the rights and freedoms of others.

Article 1 of the First Protocol - Right of the individual to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.

Account may also be taken of:-

Article 6 - Right to a fair trial and public trial within a reasonable time.

Article 10 - Right to free expression.

Article 14 - Prohibition of discrimination.

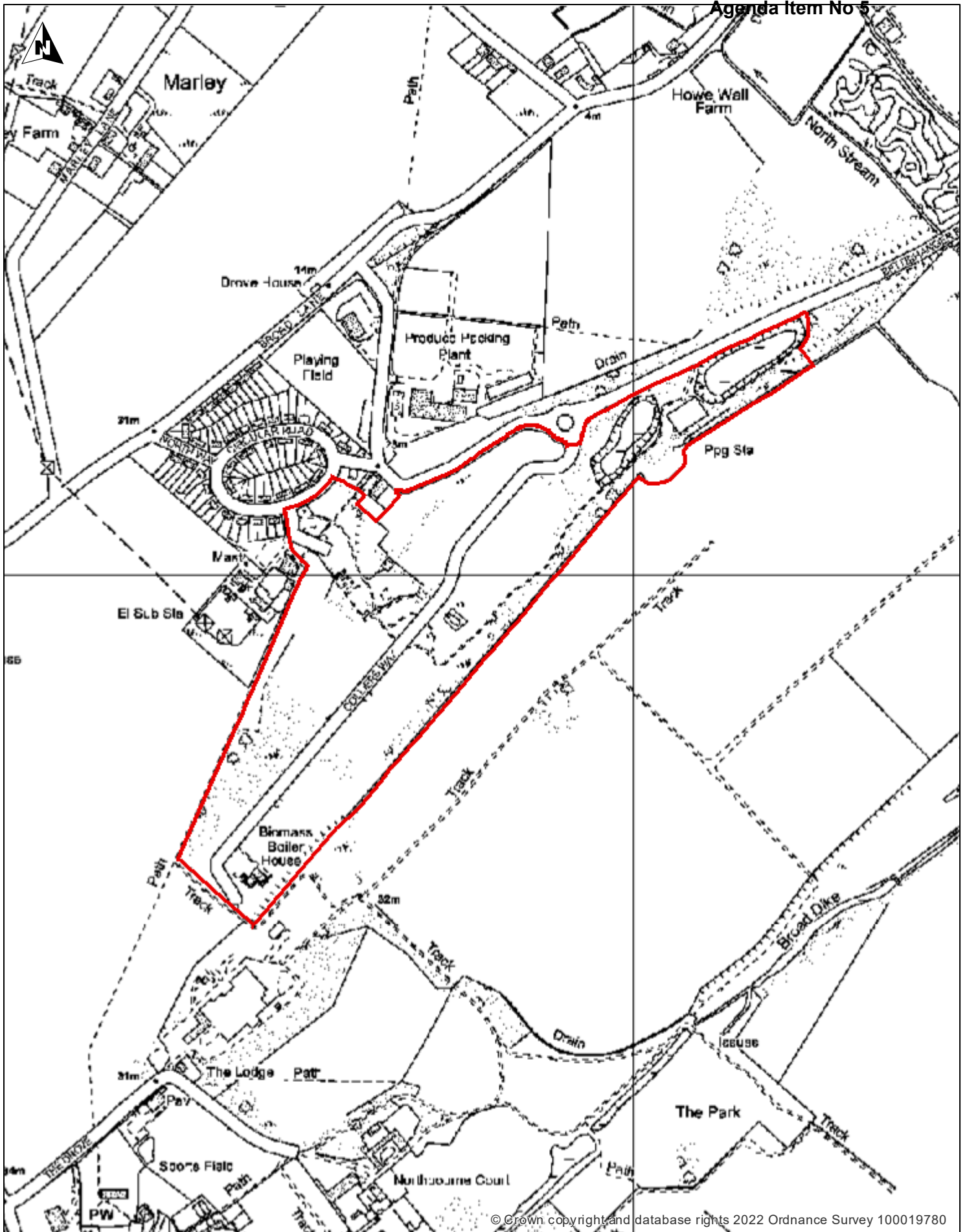
The Committee needs to bear in mind that its decision may interfere with the rights of particular parties, particularly under Article 8 and Article 1 of the First Protocol. The decision should be a balanced one and taken in the wider public interest, as reflected also in planning policies and other material considerations.

(PTS/PLAN/GEN) HUMANRI

PUBLIC SPEAKING AT PLANNING COMMITTEE

1. The scheme for public speaking at Planning Committee only concerns matters relating to the determination of individual applications for planning permission contained in the Planning Committee agenda and not to other matters such as Tree Preservation Orders or Enforcement.
2. The scheme for public speaking will apply at each meeting where an individual application for planning permission is considered by the Planning Committee.
3. Any person wishing to speak at the Planning Committee should submit a written request using this form and indicate clearly whether the speaker is in favour of, or opposed to, the planning application.
4. The form must be returned to Democratic Support no later than two working days prior to the meeting of the Planning Committee.
5. Speaking opportunities will be allocated on a first come, first served basis but with the applicant being given first chance of supporting the scheme. Applicants or agents will be notified of requests to speak. Third parties who have applied to speak will be notified of other requests only when these directly affect their application to speak. The names, addresses and telephone numbers of people who wish to speak may be given to other people who share their views and have expressed a wish to address the Committee. The identified speaker may defer to another at the discretion of the Chairman of the Committee.
6. One person will be allowed to speak in favour of, and one person allowed to speak against, each application. The maximum time limit will be three minutes per speaker. This does not affect a person's right to speak at a site visit if the Committee decides one should be held.
7. Public speakers will not be permitted to distribute photographs or written documents at the Committee meeting.
8. The procedure to be followed when members of the public address the Committee will be as follows:
 - (a) Chairman introduces item.
 - (b) Planning Officer updates as appropriate.
 - (c) Chairman invites the member of the public and Ward Councillor(s) to speak, with the applicant or supporter last.
 - (d) Planning Officer clarifies as appropriate.
 - (e) Committee debates the application.
 - (f) The vote is taken.
9. In addition to the arrangements outlined in paragraph 6 above, District Councillors who are not members of the Committee may be permitted to address the Planning Committee for three minutes in relation to planning applications in their Ward. This is subject to giving formal notice of not less than two working days and advising whether they are for or against the proposals. In the interests of balance, a further three minutes' representation on the contrary point of view will be extended to the identified or an additional speaker. If other District Councillors wish to speak, having given similar notice and with the agreement of the Chairman, this opportunity will be further extended as appropriate.
10. Agenda items will be taken in the order listed.

11. The Chairman may, in exceptional circumstances, alter or amend this procedure as deemed necessary.



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22/01379

Site At Betteshanger Sustainable Parks
Betteshanger Road, Betteshanger
CT14 0EN

Dover District Council
Honeywood Close
White Cliffs Business Park
Whitfield
DOVER
CT16 3PJ



Note: This plan is provided for purposes of site identification only.

- a) **DOV/22/01379 – Reserved Matters application for the details landscaping, layout, access, scale and appearance for the residential phase of approved outline permission DOV/20/00419 (outline permission with all matters reserved for up to 210 dwellings (including up to 12 self-build plots), together with up to 2,500 sqm of office floorspace and up to 150 sqm of retail floorspace) - Betteshanger Sustainable Parks, Betteshanger Road, Betteshanger**

Reason for referral – number of contrary views (17)

b) **Summary of Recommendation**

That reserved matters approval be granted subject to conditions.

c) **Planning Policy and Guidance**

Development Plan

The statutory development plan comprises:

- Core Strategy (2010) (“**the Core Strategy**”)
- Land Allocations Local Plan (2015) (“**the LALP**”)
- Saved Polices of the Local Plan (2002)

Relevant polices of the Core Strategy include:

- CP4: Housing Quality, Mix, Density and Design
- CP5: Sustainable Construction Standards
- DM5: Provision of Affordable housing
- DM12: Road Hierarchy and Development
- DM13: Parking Provision
- DM15: Protection of Countryside
- DM16: Landscape Character
- DM17: Groundwater Source Protection

Relevant polices of the LALP include:

- DM27: Providing Open Space

Relevant polices of the Local Plan include:

- AS1: Betteshanger Colliery Pithead

As is the case with the development plan, where existing policies were adopted prior to the publication of the National Planning Policy Framework (July 2021) (“**the Framework**”), the weight to be given to them depends on their degree of consistency with the policies of the Framework (paragraph 219).

Other Material Considerations

National Planning Policy Framework

The Framework sets out the Government’s planning policies for England and how these are expected to be applied. It is therefore a material consideration, to which significant weight should be attached in determining the application.

Sections of the Framework are referred to, as relevant, in the assessment section of this report below.

Draft Dover District Local Plan

The draft Dover District Local Plan (Regulation 19 submission – October 2022) (“**the draft Local Plan**”) sets out planning policies and proposals for new development in the district over the period from 2020 to 2040 and when adopted will replace the existing development plan. The draft Local Plan has been subject to Regulation 19 consultation and submitted for examination.

The draft Local Plan is a material planning consideration in the determination of this planning application. The weight to be afforded to its policies depends (in accordance with paragraph 48 of the Framework) on the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the relevant policies, and the consistency of relevant policies with the Framework.

Relevant policies of the draft Local Plan include:

- Policy SP1: Planning for Climate Change
- Policy SP2: Planning for Healthy and Inclusive Communities
- Policy SP3: Housing Growth
- Policy SP5: Affordable Housing
- Policy SP11: Infrastructure and Developer Contributions
- Policy SP13: Protecting Designated Environmental Sites
- Policy SP14: Enhancing Green Infrastructure and Biodiversity
- Policy CC1: Reducing Carbon Emissions
- Policy CC2: Sustainable Design and Construction
- Policy CC4: Water Efficiency
- Policy CC5: Flood Risk
- Policy CC6: Surface Water Management
- Policy CC8: Tree Planting and Protection
- Policy PM1: Achieving High Quality Design, Place Making and the provision of Design Codes
- Policy PM2: Quality of Residential Accommodation
- Policy PM3: Providing Open Space
- Policy PM4: Sports Provision
- Policy PM6: Community Facilities and Services
- Policy H1: Type and Mix of Housing
- Policy H5: Self-Build and Custom Housebuilding
- Policy TI1: Sustainable Transport and Travel
- Policy TI2: Transport Statements, Assessments and Travel Plans
- Policy NE1: Biodiversity Net Gain
- Policy NE2: Landscape Character
- Policy NE3: Thanet Coast and Sandwich Bay SPA Mitigation Strategy

Legislation

The combined effect of section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) is that planning applications must be determined in accordance with the statutory development plan unless material considerations indicates otherwise.

d) **Relevant Planning History**

Betteshanger Colliery and Tip Site

02/00905 Erection of Class B1, B2 and B8 business, industrial and warehousing units, creation of community park and country park, erection of visitor centre, construction of recreational cycling facilities and sculpture park and construction of water treatment facilities, access roundabout, roads and car parking facilities. Permission granted 17/08/04.

Land between Betteshanger Road and Intercrop site

17/00451 Erection of a detached incubation building (B1, B2 and B8) with ancillary cafe (A3) and associated landscaping and car parking. Permission granted 28/07/17, not implemented.

Land south-east of Colliers Way

18/00798 Erection of building for use as a winery. Permission granted 29/10/18, not implemented.

Betteshanger Colliery

20/00419 Outline application with all matters reserved for up to 210 dwellings (including up to 12 self-build plots), together with up to 2,500 sqm of office floorspace and up to 150 sqm of retail floorspace. Permission granted 27/07/21, not implemented.

22/01364 Replacement of existing road. Permission granted 19/12/22.

e) **Consultee and Third-Party Representations**

Northbourne Parish Council

Objection to development on the site.

Environment Agency

Confirmed no comments.

Natural England

Confirmed no comments.

KCC Lead Local Flood Authority (LLFA)

The drainage strategy set out within the Flood Risk Assessment (June 2020) as part of the outline planning stage for a combination of attenuation basins would appear to still be deliverable based on the latest planning layout drawing. The LLFA therefore raise no objections to the approval of the reserved matters submission.

Final drainage details will need to be provided to satisfy the requirements of Condition 25 of the outline planning permission.

KCC Highways & Transportation

Response 06/03/23

Colliers Way provides the primary route through the site, with an emergency access via Betteshanger Road. The replacement of the existing road and its narrowing to 5.5 metres with 1.8 metre footways on either side was approved under application (22/01364).

There is no longer an aspiration for buses to be diverted along the spine road and bus stops along it are not shown.

The majority of dwellings are served via private driveways off the adoptable spine road.

A footpath link is proposed through the green corridor to the south of the site; and a pedestrian route is shown towards Circular Road, which provides access to local bus services.

Pedestrian routes require sufficient lighting to ensure safety and accessibility.

Swept path illustrations indicate sufficient space is available for fire tenders to turn within the site; the emergency access route is acceptable in width.

The inclusion of garages are addition to parking spaces.

Suggest some additional visitor parking space along the private drives and spine road.

The pedestrian crossing points of the shared drives and secondary streets should be move back from the spine road.

The use of raised tables at junctions as a key traffic calming function is noted. The Kent Design Guide sets out the required gradient and materials that would be considered acceptable to adoptable standards. Final details of the traffic calming features should be secured by condition.

Junction visibility splays of 2.4m x 45m are acceptable.

The layout of the proposed development is considered acceptable.

Response 22/03/23

Visitor parking has been increased to provide 36 spaces. Overall, the amount and distribution of visitor parking across the site (in addition to parking for each dwelling) is acceptable.

Kent Fire & Rescue Service

The provision of an alternative emergency access route into this development and the provision of designated turning points serving dead end access roads are noted. The emergency access requirements for the fire service have been met.

KCC Public Rights of Way (PROW) Officer

Public Footpaths EE367 and EE368 would be directly affected by the proposed development.

Officer Comment: A PROW management scheme is subject to Condition 20 of the outline planning permission.

DDC Ecology

Grass-poly mitigation

It is essential that the approved mitigation strategy approved at outline stage is fully implemented. This includes translocation to and establishment of grass-poly plants at the receptor sites and their long-term management.

The easternmost grass-poly receptor area is outside the area of this reserved matters application. The planning authority will need to be mindful of this when monitoring the mitigation works.

The 'Grass-poly Mitigation Strategy' is relevant to this application in requiring: the receptor areas to be secured with post and rail fences and locked gates to discourage recreational damage or disturbance; interpretation signs to be placed at the receptor areas and information leaflets to be sent to new home owners or businesses; and avoidance of landscaping that would overshadow the receptor areas. These matters should also be addressed, secured and implemented through this reserved matters application.

Ecological mitigation measures

Specific mitigation measures were identified at outline stage, which should be addressed through existing conditions or otherwise via the reserved matters scheme:

- i. measures to achieve high water efficiency;
- ii. pollution prevention measures to safeguard against potential run-off or pollution events;
- iii. protection of retained hedgerows and trees during construction;
- iv. bat-sensitive lighting;
- v. if the building at the south-western corner of the site is to be demolished, that will require mitigation / compensation for bats;
- vi. badger safeguards;
- vii. great crested newts district level licencing;
- viii. reptile mitigation;
- ix. turtle dove mitigation;
- x. protection of breeding birds;
- xi. control / eradication of invasive species;
- xii. woodland, scrub and wetland management;
- xiii. new planting of native species of local provenance;
- xiv. provision of wildflower grassland;
- xv. extension of ponds, SuDS features for wildlife opportunities;
- xvi. provision of green roof and brownfield habitat features;
- xvii. bat boxes;
- xviii. hedgehog nest domes;
- xix. bird boxes;
- xx. invertebrate and reptile habitat piles;
- xxi. bee bricks;
- xxii. boundary treatment must allow hedgehogs to pass through; and
- xxiii. ecological supervision of the erection of railings in open space areas.

Officer comment: how each of these measures is addressed by the development

scheme, with further commentary from the ecology officer, is set out in the planning assessment below.

River Stour Internal Drainage Board

Generally satisfied with the level of detail provided and anticipate that the Surface Water Management Strategy is unlikely to be subject to further amendment.

Coal Authority

Welcome the submission of Mine Entry Exclusion Zone Report. The report confirms that the 10m exclusion zone has been calculated based on confirmed ground conditions adjacent to the shafts.

No objections to this reserved matters application. The applicant has demonstrated that adequate separation between buildings and the mine entries have been incorporated.

Designing Out Crime Officer

A condition is recommended to address designing out crime, which should have regard to natural surveillance of and potential noise from open spaces; boundary treatments and gates; secure parking areas; landscaping that does not reduce visibility; defensible spaces outside properties; suitable lighting; vandal resistant play areas; door and window specification; cycle and bin storage; mail delivery; and security during construction.

Third Party Representations

A total of 17 letters of objection to the reserved matters scheme have been received which raise the following comments:

- drainage problems at the site;
- no infrastructure (doctors, dentists, schools, hospitals, water, sewerage);
- roads are at capacity, without space for additional traffic;
- new road should take account of local people, including paths for walkers, horse riders and cyclists;
- loss of green space;
- wild flora and fauna needs consideration;
- area supports endangered species, including turtle doves, lizard orchids and range of fungi;
- the grass poly mitigation has been marked and fenced off before development begins;
- a substantially larger application than envisaged;
- low proportion of two bed properties;
- there are sites of special scientific interest in the area;
- land unsuitable due to back fill of shafts and toxic materials on the land;
- improvements to outdoor sporting facilities including Betteshanger Social and Welfare Sports Club and Walmer Cricket Club should be provided.

f) The Site and the Proposal

The Site

- 1.1 This site comprises the pit head and adjacent land of the former Betteshanger Colliery,

to the west of Sandwich Road.

- 1.2 The site has been subject to a series of planning applications over the last 20 years since mining operations ceased in 1989. In 2004 planning permission (reference 02/00905) was granted to the South East England Development Agency (SEEDA) for employment floorspace alongside infrastructure works including a new spine road. Whilst the spine road was constructed, the intended employment development did not come forwards.
- 1.3 More recently, outline planning permission (reference 20/00419) ("**the Outline PP**") was granted in July 2021 for up to 210 dwellings (including 12 self-build plots), up to 2,500 sqm of office floorspace, up to 150 sqm of retail and areas of green infrastructure.
- 1.4 As well as establishing the use and amount of development on the site, the Outline PP has approved a series of parameter plans relating to arrangement of uses, movement/access, height, density and open space.
- 1.5 In respect of the existing site and surrounding area:
 - the site is accessed via Betteshanger Road from the roundabout junction with the A258 Sandwich Road;
 - the site has a rural setting with surrounding arable farmland to the east, south and west;
 - to the north of the site are the former miners housing of Circular Road;
 - there are a number of agricultural/commercial business to the north of the site including Almond House in office use;
 - there is an existing area of open space running north-south across the site, linking with Circular Road;
 - further to the north and east of the site is the Sandwich Bay to Hacklinge Marshes SSSI and the Thanet Coast to Sandwich Bay Special Protection Area and Ramsar site; and
 - Northbourne Court (Grade II listed park and garden) is some 500m to the south of the site.

Proposed Development

- 1.6 Reserved matters approval is sought in respect of access, layout, scale, appearance and landscaping for the construction of 165 dwellings (including 12 self-build plots) and areas of green infrastructure.
- 1.7 Whilst the Outline PP included land for commercial use, this is not included within the extent of this reserved matters application. Importantly however, this application does not prejudice the future delivery of the commercial element of the Outline PP which would have a separate / independent access off Betteshanger Road.
- 1.8 The proposed reserved matters scheme comprises:
 - principal access from the existing Betteshanger Road / Colliers Way

roundabout;

- utilisation of Colliers Way as the main spine road into the site, which would be rebuilt to upgrade its specification with footway provision along either side;
- a layout that maintains the central parkland (connecting the site to Circular Road to the north), open space along the southern boundary and areas of existing woodland;
- houses grouped on either side of the central parkland, fronting or accessed via driveways off either side of Colliers Way;
- houses that are two storey in height except for a three storey apartment building in the northern part of the site;
- a connected network of footways through the central parkland and southern open space;
- surface water attenuation basins in the eastern part of the site.

1.9 The proposed layout is at Figure 1.



Figure 1: Proposed Layout

1.10 The split of market and affordable units is shown at Table 1. 30% affordable housing

(50 units) would be provided.

	Market	Affordable	Total
1 bed maisonettes	-	8	8
2 bed apartments	-	9	9
2 bed houses	14	9	23
3 bed houses	45	24	69
4 + bed houses	44		44
Self-build plots	12		12
Total	115 (70%)	50 (30%)	165

Table 1: Mix of Units

- 1.11 The buildings in appearance have a traditional style with pitched roof and catslide elements; hipped roofs and projecting gables; and a variety of brick, weather boarding and grey and terracotta coloured roofing tiles.
- 1.12 The street scene and elevation appearance of parts of the development are shown in Figures 2 – 5 below.



Figure 2: Street Scene



Figure 3: Street Scene



Figure 4: Elevations of Semidetached Houses



Figure 5: Elevations of Apartment Building

1.13 As well as detailed drawings, the following documents accompany the application:

- Design and Access Statement
- Planning Statement
- Landscape Strategy
- Sustainability and Energy Statement
- Response to Fire Safety Officer
- Surface Water Infiltration Briefing Note
- Response to Ecology Comments
- Faunal Enhancement Plan

1.14 Amended plans were submitted during the course of the application to re-orientate the front outlook of some houses away from the existing skate park; to provide more planting amongst car parking spaces; to change the brick material of the apartment building to better relate to appearance of the former colliery building; to widening of emergency access to the north; and to increase the number of visitor parking spaces.

2. **Main Issues**

2.1 The main issues in the consideration of this application are:

- principle of development
- design quality / place making
- landscape character
- density
- mix of units and affordable housing
- quality of accommodation and amenities
- highways / transport matters
- surface water drainage
- ecology
- sustainability and energy
- other matters

Assessment

Principle of Development

- 2.2 The principle of residential development on the site has been established by the Outline PP. As well as the maximum quantum of development, the Outline PP secures key parameters of areas of built form (for residential and non-residential uses); areas of open space/green infrastructure; and maximum heights of buildings (of between two and three storeys for residential development). The parameter plans also present a movement strategy, utilising Colliers Way for vehicular access and provision of a wider network of footpaths.
- 2.3 The proposed reserved matters scheme is considered consistent with the parameters of the Outline PP.

Design Quality/Place-Making

- 2.4 The Framework emphasises that creating high quality places is fundamental to what the planning and development process should achieve. This includes that development should function well and add to the overall quality of the area; is visually attractive as a result of good architecture, layout and effective landscaping; is sympathetic to the local character; establishes a strong sense of place; and is safe, inclusive and accessible, promoting health and wellbeing, with a high standard of amenity for future users.
- 2.5 Draft Local Plan Policy PM1 requires development to demonstrate an understanding and awareness of its context; give attention to the scale and materiality of buildings, in respect of the locality and neighbouring buildings; respect or create distinctive local character; and have a positive, coherent identity that is visually attractive.
- 2.6 In this context the reserved matters scheme advances a place making approach of focussing development around the existing linear parkland and other open area along the southern edge and eastern parts of the site. The close relationship between the houses and green infrastructure would provide a verdant setting and distinctive identity for the development, as well as space for recreation and wildlife.

Layout

- 2.7 The proposed layout with a principal spine road and secondary driveways is considered legible and readily navigated whether walking, cycling or travelling by vehicle.
- 2.8 Whilst the site does not provide a through-route for vehicles, it is permeable for pedestrians and cyclists to the north towards Betteshanger Social Club and existing communities on Circular Road.
- 2.9 The layout of roads and houses is less formalised and more relaxed towards the outer southern edges of the site, helping the transition between the scheme and the open countryside beyond.
- 2.10 Houses are arranged in perimeter blocks that provide defensible garden space to the rear and natural surveillance outwards across the movement network and areas of open space.
- 2.11 The orientation of the houses at the eastern end of the site, to face across Betteshanger Road / Colliers Way roundabout, provides a suitably strong and active entrance to the wider development.

- 2.12 Houses front onto Colliers Way for much of its length or are double aspect (including on plots 49, 50, 53 & 96), to ensure a good level of natural surveillance and activity across the public realm.
- 2.13 The layout of the buildings and associated structure of roads, paths and open space is considered a good response to the constraints and opportunities of the site, in providing a positive place for people to live.

Scale

- 2.14 The scale of houses at predominantly two storeys in height is in keeping / compatible with the approved parameter plans and the neighbouring built form to the north.
- 2.15 The three storey height of the apartment building is considered appropriate in relation to the scale of the adjacent Almond House (with its three storey gables) and commercial development (of up to 12.5m in height) with extant planning permission to the north. Heights are consistent with the approved parameter plans.

Appearance

- 2.16 The houses have a simple and traditional form with a variety of gable and hipped roofs to provide some variation. The larger houses are richer in detailing with bay windows, patterned gables, stone detailing, soldier courses and porch features, with a mix of red and buff facing brick.
- 2.17 A greater number of the smaller dwellings would have dark shiplap cladding with reference to a more local vernacular.
- 2.18 The red brick of the larger apartment building would relate to the appearance of Almond House.
- 2.19 Roofing tiles across the site would be slate grey or terracotta / red in colour.
- 2.20 This proposed pallet of materials is generally considered consistent with the varied character and appearance of other properties in the surrounding area. Final materials with samples to be provided will be secured by condition.
- 2.21 The overall appearance of the development would be attractive and sympathetic to the semi-rural character of the site and wider area.

Landscaping

- 2.22 The structural landscaping of the reserved matters scheme, in its position and size, is consistent the Outline PP.
- 2.23 As to the more detailed elements of the landscaping, specific elements are proposed:
- wetland features around the surface water attenuation basins at the eastern part of the site;
 - infill planting to reinforce the south boundary;
 - areas of wildflower planting in the central parkland;
 - new footpaths along the southern boundary and through retained woodland to link into the existing network;
 - upgrade and enhancement of the existing skate park and existing play area;
 - retention and enhancement of pit head memorial shelter in the linear parkland.

- provision of grass verge and tree planting along Colliers Way;
 - street tree planting along private driveways;
- 2.24 Colliers Way would retain its tarmacked surface, but with junctions to the driveways highlighted in brindle coloured block paving. Block paving would also be used for the less trafficked driveways.
- 2.25 Boundary treatment would comprise 1.8m high timber fencing between gardens, with more robust walls framing perimeter corner plots. The use of low level estate railing or knee rails would demark public open space and more private / defensible areas in an unobtrusive way.
- 2.26 Overall the approach to landscaping would suitably enhance the visual appearance and attractiveness of the development.
- 2.27 Final landscaping specification, as the most detailed information, is secured by conditions of the Outline PP.

Landscape Character

- 2.28 The landscape and visual impacts of development were accepted in the grant of the Outline PP. It was considered that the existing boundary treatment mitigates views of development from the east and north; and in views from the south development would be set against the backdrop of existing development to the north. Development would generally assimilate into the wider character of the area.
- 2.29 As the reserved matters scheme (in height and general arrangement) is consistent with the parameters of the Outline PP, Core Strategy policies DM15 and DM16 that seek to protect the appearance of the countryside and landscape character of the district remain satisfied.

Density

- 2.30 Whilst the number of units of this reserved matters scheme (165 dwellings) is lower than the maximum of the Outline PP (of up to 210 dwellings), its density of 33 dwellings per hectare (dph) is considered consistent with Core Strategy Policy CP4 in seeking at least 30 dph to make effective use of deliverable land. Development is also compliant with draft Local Plan Policy PM1 that aims for appropriate densities of between 30-50 dph.
- 2.31 It is considered that a significantly greater density could be at too great a variance with the character of the nearby residential development to the north and the site's more rural location.

Affordable Housing and Dwelling Mix

- 2.32 In accordance with Core Strategy Policy DM5 and draft Local Plan Policy SP5, the reserved matters scheme would provide 30% affordable housing – 50 units. Of these affordable units, 70% would be affordable rent and 30% shared ownership, as secured by obligations in the s.106 agreement of the Outline PP.
- 2.33 Core Strategy Policy CP4 and Policy H1 of the draft Local Plan require the mix of major residential development to reflect the Council's latest evidence of housing need and market demand. This latest evidence is the Council's Strategic Housing Market Assessment – Partial Part 2 Update, December 2019.

- 2.34 The mix of houses (excluding self-build) of 8 x 1-bed, 32 x 2-bed, 69 x 3 bed and 44 x 4+ bed will provide an appropriately balanced development, broadly consistent with the place making vision of the site and objectives of the Core Strategy and draft Local Plan.

Quality of Accommodation and Amenities

- 2.35 The reserved matters scheme would provide a good standard of accommodation with regard to draft Local Plan PM2:
- each dwelling would meet nationally described space standards, as well as benefiting from good levels of privacy, outlook and daylight/sunlight;
 - each house would have a suitably sized private garden;
 - each dwelling would provide suitable sound insulation; and
 - the apartment building would benefit from shared amenity space.
- 2.36 The development would be located a good distance to nearby properties to the north, separated by larger areas of open space, such that the amenities these existing residents (in terms of outlook and privacy) would not be harmed.
- 2.37 In respect of any disruption / disturbance during the construction phase of development, this is short term and can reasonably be controlled through good practice measures – hours of construction, timing of deliveries, management of dust etc. The Outline PP includes conditions for such purposes, including to secure a construction management plan.
- 2.38 With appropriate measures of mitigation through façade attenuation, DDC Environmental Protection Officers advise that traffic noise is not a constraint to development. This is consistent with the outline planning permission granted.

Highways/Transport Matters

- 2.39 The principle of development on the site, with access and movement fixed as an approved parameter plan, was agreed by the Outline PP.
- 2.40 In terms of the detailed layout, KCC Highways & Transportation as the local highways authority (LHA) advise this is acceptable with regard to the movement of vehicles and pedestrians. Adequate junction visibility splays would be achieved; suitable traffic calming with raised tables along Colliers Way are proposed; and a pedestrian connection delivered northwards to Circular Road.
- 2.41 Revised details from the applicant to slightly reposition the pedestrian crossing points of the secondary streets back from corner of each junction have been received.
- 2.42 An emergency access from the site to Betteshanger Road and adequate turning provision for fire fighting vehicles are accepted by Kent Fire and Rescue and the LHA.
- 2.43 This turning provision also serves for refuse collection vehicles, with bin storage areas at the rear of each house and conveniently located collection areas to the front. The apartment building has a dedicated bin store with suitable access.
- 2.44 In terms of local bus provision, the Outline PP secured improvements to bus stops on A258 Sandwich Road to be carried out prior to first occupation.

Parking

- 2.45 Across the site a total of 423 car parking spaces would be provided, with an average of 2.5 per dwelling (387 spaces) and 36 visitor spaces. The LHA is satisfied with this overall amount and level of parking for each dwelling.
- 2.46 For the apartment building, three designated disabled spaces are proposed.
- 2.47 Each house will have an electric vehicle charging point.
- 2.48 Each dwelling has sufficient space within a garage or the garden areas for cycle storage.

Surface Water Drainage

- 2.49 The built area of the development lies within flood zone 1, with the lowest risk of flooding.
- 2.50 Final surface water drainage details are secured by conditions of the Outline PP, to be submitted and considered in due course. The consultation response from the LLFA provides confidence that the reserved matters scheme remains consistent with the appropriate drainage strategy that accompanied the outline planning application.
- 2.51 Ultimately surface water would be discharged to the Lower Stour via attenuation features. The River Stour IDB is also generally satisfied with this approach and level of information provided.

Ecology

- 2.52 With regard to the relevant ecological matters identified by the ecology officer in consultation (as above), commentary as to how these are addressed is provided at Table 2.

Table 2: Ecological Matters

Ecological matter		Commentary
i.	Measures to achieve high water efficiency	Dwelling are designed to a water efficiency standard of 105 litres per person per day (l/p/d). This is a betterment against draft Local Plan Policy CC4 of 110 l/p/d and current Building Regulations of 125 l/p/d
ii.	Pollution prevention measures to safeguard against potential run-off or pollution events	Surface water drainage details will need to include water quality measures; and safeguards during the construction phase will be secured through construction management plans – conditions 8 & 9 of the Outline PP
iii.	Protection of retained hedgerows and trees during construction	Condition 23 of the Outline PP requires details of tree and hedgerow protection to be secured before commencement of development

iv.	Bat-sensitive lighting	<p>Surveys undertaken for the outline application identify the site supports foraging and commuting activity by a moderate assemblage of common and widespread bats</p> <p>Habitats supporting elevated interest for bats (waterbodies and woodlands) are to be retained, well buffered and not subject to lighting</p> <p>A final lighting scheme of the development, to take account of bat activity, is to be secured by condition 48 of the Outline PP</p>
v.	If the building at the south-western corner of the site is to be demolished, that will require mitigation / compensation for bats	This building is not to be demolished as part of this reserved matters application
vi.	Badger safeguards	To ensure badgers are not adversely affected, an updated badger survey is to be submitted before commencement of development, as secured by condition 46 of the Outline PP
vii.	Great crested newts district level licencing	Appropriate licencing to deal with great crested newts has been granted
viii.	Reptile mitigation	To protect the population of reptiles, mitigation requirements within the site are secured by condition 45 of the Outline PP
ix.	Turtle dove mitigation	A turtle dove mitigation strategy, utilising land at Betteshanger Country Park, was secured by condition 54 of the Outline PP, for which details have been submitted and approved
x.	Protection of breeding birds	Measures secured by condition 49 of the Outline PP – that works to take place outside of the bird nesting season unless preceded by a check for nesting birds
xi.	Control/eradication of invasive species	This relates to New Zealand pygmyweed present in existing ponds. An informative to ensure the applicant is aware of duties in relation to this species is recommended

xii.	Woodland, scrub and wetland management	This will be addressed in the Landscape and Ecological Management Plan to be secured by condition 43 of the Outline PP
xiii.	New planting of native species of local provenance	This will be addressed in final planting specifications secured by condition 21 of the Outline PP
xiv.	Provision of wildflower grassland	This will be addressed in final planting specifications secured by condition 21 of the Outline PP
xv.	extension of ponds, SuDS features for wildlife opportunities;	This will be addressed in the Landscape and Ecological Management Plan to be secured by condition 43 of the Outline PP
xvi.	provision of green roof and brownfield habitat features;	This will be addressed by condition 47 of the Outline PP requiring green roofs and brownfield habitat to be submitted and approved
xvii.	bat boxes;	A condition to secure bat boxes is recommended with this reserved matters scheme
xviii.	hedgehog nest domes;	This will be addressed in the Landscape and Ecological Management Plan to be secured by condition 43 of the Outline PP
xix.	bird boxes;	A condition to secure bat boxes is recommended with this reserved matters scheme
xx.	invertebrate and reptile habitat piles;	This will be addressed in the Landscape and Ecological Management Plan to be secured by condition 43 of the Outline PP
xxi.	bee bricks;	A condition to secure bat boxes is recommended with this reserved matters scheme
xxii.	boundary treatment must allow hedgehogs to pass through; and	A condition to secure hedgehog gaps through boundary fencing is recommended with this reserved matters scheme
xxiii.	ecological supervision of the erection of railings in open space areas.	In more sensitive areas, such as around the drainage basins, estate railings have been omitted

- 2.53 With regard to the translocation of grass-poly to specific receptor sites, this has been addressed through the submission, approval and implementation of the 'Grass-Poly Translocation Strategy' pursuant to condition 44 of the Outline PP. Three receptor sites are identified to compensate for the displacement of existing plants.
- 2.54 Overall, through the conditions of the Outline PP, sensitive proposals of the reserved matters scheme, and a number of additional conditions, the development would not have a significant impact upon biodiversity, consistent with the draft Local Plan and the Framework.

Sustainability and Energy

- 2.55 The applicant has provided a Sustainability and Energy Report, which sets out that each home is to be fitted with air source heat pumps, reducing carbon consumption by 60%. This exceeds Part L of the Building Regulations' target to reduce CO2 emissions by 30%.
- 2.56 Photovoltaic cells are not proposed due to greater efficiencies through a 'fabric first' approach and effectiveness of air source heat pump technology.
- 2.57 This approach meets the objectives of the Outline PP to promote an energy efficient and sustainable development in this regard.
- 2.58 Further measures include:
- use of low-impact materials, according to the BRE Green Guide to Specifications;
 - minimising water consumption to 105 l/p/d;
 - 100% electric vehicle charging for houses;
 - minimising waste production during construction and maximise the proportion of waste to be diverted from landfill;
 - minimising energy through specification of low U-values, low air permeability and low thermal bridging to reduce heat loss; and
 - use of high efficiency plant, equipment and controls to limit the energy consumed – low energy LED lighting; opening windows; energy management systems; home user guides; and controlled heating.

Other Matters

- 2.59 Contributions towards local services/infrastructure (including education, community learning, libraries, social care, youth services, NHS, and off-site outdoor sports facilities) were secured as part of the Outline PP.

3. Conclusion

Overall it is considered the proposed reserved matters scheme would:

- provide a suitable layout and scale of development, with good quality landscaping and appearance of buildings, in accordance with the parameter plans and generally consistent with illustrative material that suitably informed

the outline planning permission;

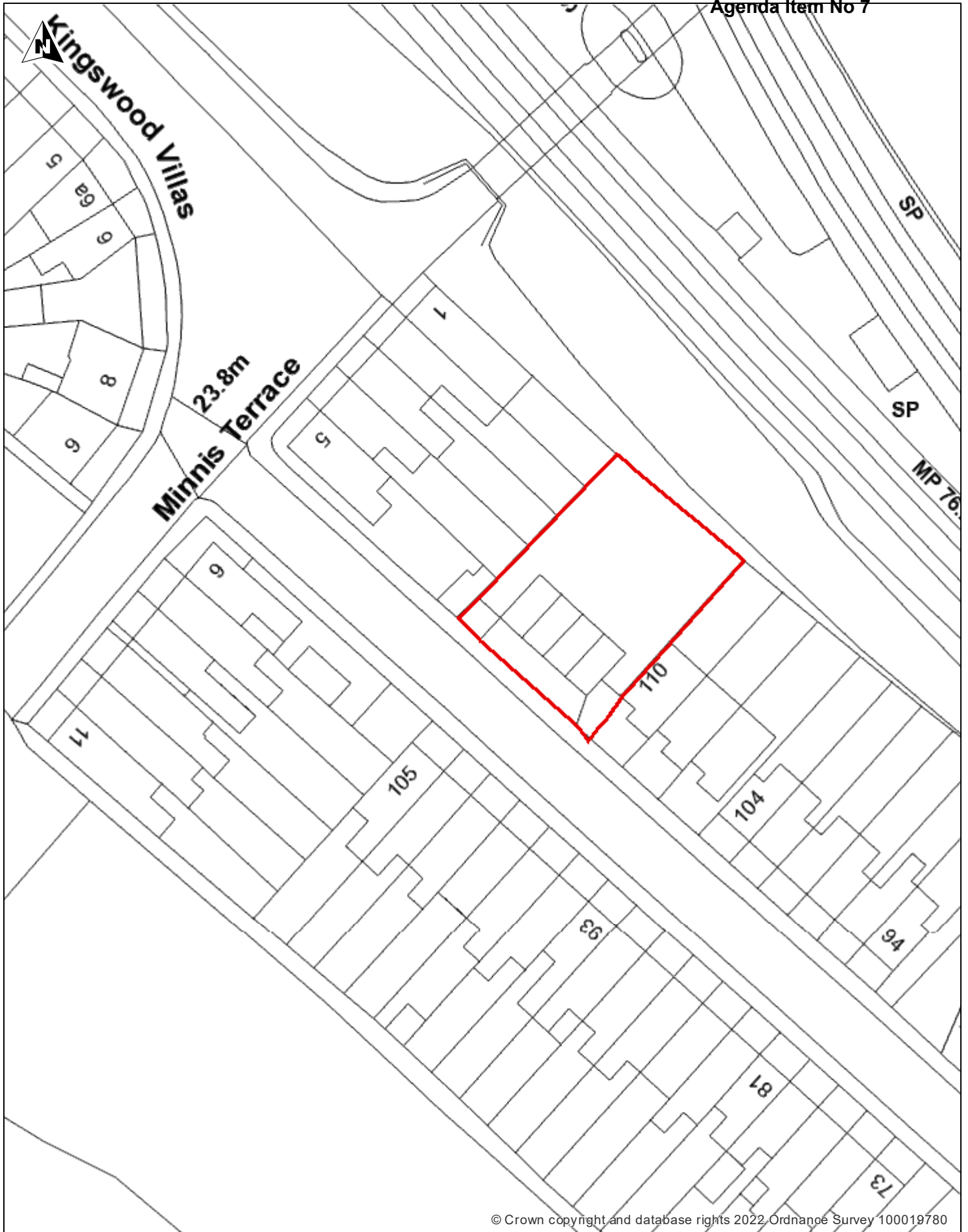
- create a mixed and balanced community with affordable housing and variety of dwelling size;
- suitably maintain neighbouring residential amenities and provide high quality amenity for future occupiers;
- ensure a safe and convenience development in terms of transport and highways matters;
- provide good quality landscaping; and
- appropriately safeguard wildlife / biodiversity interests across the site.

g) Recommendation

- I. GRANT RESERVED MATTERS APPROVAL subject to conditions.
 - (1) Conditions to include:
 - (2) Approved plans
 - (3) Details and samples of materials – external surfaces of the dwellings
 - (4) Details and samples of materials – hard surfacing
 - (5) Details of bat boxes, bird boxes and bee bricks to be submitted and approved
 - (6) Details of hedgehog gaps to be submitted and approved
 - (7) Details of traffic calming measures to be submitted and approved
- II. Powers to be delegated to the Head of Planning and Development to settle any necessary planning conditions in line with the issues set out in the recommendation and as resolved by the Planning Committee.

Case Officer

Andrew Somerville



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22/01707
Land Between Minnis Terrace And 110 Hillside Road
Dover
CT17 0JG

Dover District Council
Honeywood Close
White Cliffs Business Park
Whitfield
DOVER
CT16 3PJ



Note: This plan is provided for purposes of site identification only.

- a) **DOV/22/01707 – Erection of three dwellings with associated landscaping and parking (garages to be demolished) – Land between Minnis Terrace and 110 Hillside Road, Dover**

Reason for report – Number of contrary views (39)

- b) **Summary of Recommendation**

Planning permission be granted.

- c) **Planning Policy and Guidance**

Core Strategy Policies (2010): CP1, DM1, DM11, DM13

Draft Dover District Local Plan to 2040

The Consultation Draft Dover District Local Plan is a material planning consideration in the determination of this planning application. At this stage in the plan making process (Regulation 19) the policies of the draft can be afforded some weight, but this depends on the nature of objections and consistency with the NPPF. Policies SP1, SP2, SP4, CC2, PM1, PM2, TI1, TI3, NE1, NE2 are of relevance.

National Planning Policy Framework (NPPF) (2021): Paragraphs 7, 8, 11, 110-112, 124, 130, 174, 180

National Design Guide & National Model Design Code (2021)

- d) **Planning History**

DOV/13/00538 – Erection of a detached building incorporating 3 flats – Refused

DOV/08/00415 - Erection of a terrace of 3 dwellings (existing garages to be demolished) – Refused

- e) **Consultee and Third-Party Representations**

Consultations and representations can be found in the online planning file, a summary is provided below:

Environmental Health – The development is 30m or less from the railway line serving Dover to London routes which will likely cause some noise and disturbance to future residents of the development site. In order to mitigate any loss of amenity from noise and vibration, request a relevant condition which requires a noise and vibration survey to be undertaken, to include sound insulation levels, a vibration assessment and a scheme for anti-vibration treatment of foundations should it be necessary. Provided this condition is secured, EH would have no further comments.

KCC Highways – It would appear that the proposal does not meet the criteria to warrant involvement from the Highway Authority in accordance with current consultation protocol arrangements.

Network Rail – Due to the close proximity of the works to the railway, NR requests the applicant engages NR's Asset Protection and Optimisation team prior to works commencing. The applicant may be required to enter into an Asset Protection

Agreement. Request informatives are attached to the decision notice should consent be granted.

Dover Town Council – Object. This is over intensification of the street. Parking is already inadequate and the road is used by HGVs which will add more strain on existing issues.

Southern Water – Public combined sewer crosses the development site, which requires a clearance of 3m either side to protect it from construction works. In order to protect public sewers, Southern Water requests that a condition requiring the developer to agree measures to be taken to protect public sewers with Southern Water, prior to the commencement of development.

Third party Representations: 39 objections have been received and are summarised below:

- The proposal dwellings would be imposing and overbearing to adjacent neighbours given their scale and the topography of the area.
- The proposal would result in a loss of light and outlook to adjacent neighbours properties and gardens, particularly to those on Minnis Terrace.
- The proposal would result in a loss of privacy to the residents of Minnis Terrace.
- Hillside Road is a congested road with existing parking issues which is used for heavy goods vehicles and buses.
- The proposal would result in additional congestion and increase existing highway safety issues.
- The area to the front of the garages is used for the parking of vehicles which will be lost and displaced should permission be granted. There is insufficient parking proposed with the development, which coupled with the displaced existing parking will worsen existing parking issues.
- The proposed houses would not be in keeping with the existing area.
- The addition of an alleyway to the rear of Minnis Terrace could result in harm to their privacy and security.
- Concern regarding the impact of the proposal on DDC owned retaining wall to the rear of the gardens to Minnis Terrace.
- Concern Japanese Knotweed is present on the site and will need specialist removal and disposal.
- Concern regarding impact to nature/biodiversity.
- The proposed construction of the development would result in noise and disturbance impacts, which would particularly effect night shift workers.
- The existing and proposed street scene plan does not make it clear that the terrace of houses on Minnis Road are staggered, with their height reducing as the land level falls.
- Previous proposals on this site have been rejected, and this should be the case for this application.

15 representations in support of the proposals have been received and are summarised below:

- The proposed development will improve the appearance of this run down block of garages.
- The proposal will smarten up the area.
- The proposal is a good opportunity to transform a disused plot of land.
- The design of the proposal is sympathetic to the surrounding houses.
- We need more housing in the area, especially on brown field sites like this.

- Understand that the existing garages are empty and cars which park in front of the garages do not belong to the owners of the garages/land.
- Individuals' inability to park on land they do not own should not prevent permission being granted for the proposal.
- Cannot see how three houses with parking spaces would have a negative effect on the area.

The Dover Society – In our view the dwellings each have an off road parking space and the site lines on the plan indicate no significant overlooking. The building design is in keeping with the area. The site is currently derelict and in need of improvement. However we note that there are a large number of objections from local residents mainly on the grounds of parking and overlooking.

f) **1. The Site and Proposal**

1.1 The application site is located on a residential road within the urban confines of Dover characterised by two and three storey (with the second floor at roof level served by dormers) predominantly period terraced dwellings. The gradient of the road falls from east to west. The application site contains a terrace of four garages, with undeveloped land with grass and vegetation to the rear which was previously overgrown and has been cleared relatively recently which is becoming re-established. To the east of the site is a terrace of more modern dwellings of a lower ridge height than the surrounding period dwellings. There is a large level change between the application site, and the adjacent terrace to the west, Minnis Terrace. The application site located on higher ground level than the terrace, alongside a level change within the site, with the land level falling steeply to the rear. The site location plan is provided in Figure 1:



Figure 1: Site Location Plan

1.2 This application follows two former refusals for residential development at this site. The main reasons for refusal were due to the built form of the development, its separation distance and relationship with the adjacent terrace to the west, given

the level change, resulting in an overbearing and enclosing form of development, design concerns with the schemes, and concerns with parking provision.

- 1.3 This application seeks to address and overcome the previous refusals and proposes the erection of a terrace of three dwellings with associated parking and landscaping, following the demolition of the existing garages. The proposed terraced dwellings will be three storeys high, appearing as two storeys to the front elevation with a basement/lower ground floor level and three storeys to the rear, built into the level change within the site. The dwellings contain a slight front overhang at first floor level, with the first floor served by a half dormer window, partially set within the roof and will be finished in red mix brickwork, silver grey Cedral cladding, artificial slate roof tiles and aluminium fenestration. The western unit, closest to the adjacent Minnis Terrace, is set under a hipped roof, with the remaining units set under gabled roofs. The terrace is stepped in response to the changing land levels, with a rear patio and stepped garden beyond. The frontage of the units contains 1No. off street parking bay per dwelling, separated by soft landscaped planting beds, with larger planting beds to each end of the terrace frontage. The layout of the proposed development in relation to the adjacent neighbours is provided in Figure 2. The elevation/section plans of the proposed development are provided in Figure 3.



Figure 2: Proposed Site Layout in relation to adjacent neighbours

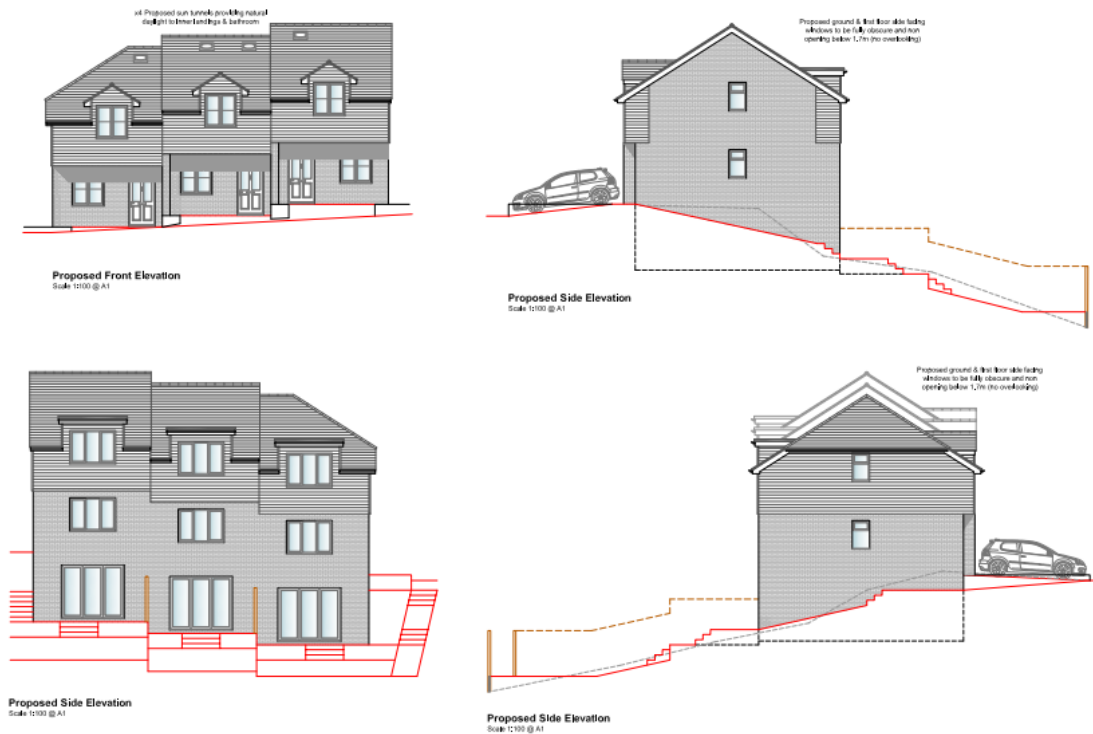


Figure 3: Proposed Elevation/Section Plans

1.4 The application is supported by an existing and proposed street scene plan, proposed site section plans in relation to Minnis Terrace, a daylight and sunlight assessment and a Preliminary Ecological Appraisal, in addition to the standard plans and documents.

2. Main Issues

2.1 The main issues for consideration are:

- Principle of the development
- Impact on the character and appearance
- Impact on residential amenity
- Impact on highways
- Impact on ecology/biodiversity

Assessment

Principle of Development

2.2 The starting point for decision making, in accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004 and Section 70(2) of the Town and Country Planning Act 1990, is the adopted development plan. Decisions should be taken in accordance with the policies in the plan unless material considerations indicate otherwise.

2.3 The application site falls within the settlement confines of Dover and comprises previously developed land. Under Policy DM1, the erection of residential development within the settlement boundaries is acceptable in principle, subject to material considerations. Draft Policy SP4 relates to windfall residential

development and permits residential development of a scale that is commensurate with the existing settlement within or immediately adjoining the settlement boundaries of Dover. The National Planning Policy Framework seeks to direct development towards sustainable locations.

- 2.4 Given the location of the application site within the urban confines, and constituting previously developed land, the proposed erection of 3No. dwellings would be compatible with the applicable Core Strategy and Draft Dover Local Plan Policies and the overarching aims and objectives of the National Planning Policy Framework. The development is therefore considered to be acceptable in principle, subject to the assessment of all other material planning considerations.

Character and Appearance

- 2.5 Paragraph 130 of the NPPF sets out that planning decisions should ensure that development functions well and adds to the overall quality of the area, and are sympathetic to local character, including the surrounding built environment, whilst not preventing or discouraging appropriate innovation or change. Draft Policy PM1 requires all development to achieve a high quality of design, which promotes sustainability and fosters a positive sense of place.
- 2.6 The surrounding area is an established residential road, characterised by relatively high density predominantly period terraced dwellings of traditional, regular designs, with modest front gardens and on street parking, which are stepped in response to the gradient of the road increasing from west to east. The application site and the adjacent late 20th century terrace to the east of the site differs from this character to a degree and are set further back from the street with parking provision. There is a significant level change between the application site and the adjacent Minnis Terrace to the west.
- 2.7 The proposed development follows the front building line of the adjacent terrace to the east. The width and depth of the dwellings are comparable to this adjacent terrace and surrounding dwellings, and the proposed terrace comprises a stepped built form in response to the changing land levels, which accords with the pattern and formation of the prevailing surrounding terraced development. The first floor of the dwellings are proposed to be set partially within the roof served by half dormers, and the western end of terrace unit will be set under a hipped roof. This will reduce the scale and built form of the dwellings and increase the separation to the adjacent Minnis Terrace which would soften this relationship and prevent an overbearing appearance. This proposed layout, siting and scale of the terrace is considered to be comfortably accommodated on the application site and will respond to and integrate with the surrounding built development and changing land levels. The proposed street scene is illustrated in Figure 4 below.

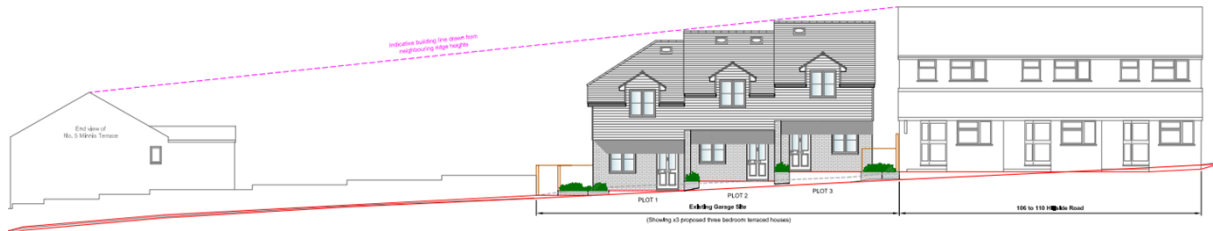


Figure 4: Proposed Street Scene

- 2.8 The design of the proposed terraced dwellings incorporates established design features in the area such as dormer windows and comprises appropriate proportions which are reflective of the verticality to the surrounding built environment, whilst comprising a more modern approach and appearance, which is not considered to be out of character with the locality given the presence of later development. Through this the proposed terrace is considered to respond and relate well to the design and appearance of the surrounding built environment. The terrace contains a modest overhang to the first floor of the dwelling, which is considered to be a minor feature which would not be detrimental to the appearance of the dwelling. The dwellings are proposed to be finished in red mix brickwork, silver grey cladding to the first floor, artificial slate and aluminium fenestration. This combination of materials is considered to be suitably compatible and would sufficiently relate to the surrounding built environment which contains a range of materials including red bricks and tiles, and light rendered finishes. Samples of external materials will be secured by condition should consent be granted to ensure these are appropriate and of sufficient quality.
- 2.9 The proposed frontage will contain a regular, balanced arrangement of a single parking space per dwelling, separated by landscaped planters. This is considered to provide an orderly appearance which will be softened by the landscaping, forming an appropriate balance between parking provision and providing an attractive and compatible frontage.
- 2.10 The existing garages are not of architectural merit and are considered to be neutral features which do not contribute to the street scene or quality of the surrounding environment. As such, no objection is raised to their demolition and the redevelopment of the site.
- 2.11 Overall, the proposed development is considered to form a suitably comfortable and compatible development which responds to and integrates with the surrounding built environment and the topography of the area. The proposal would therefore accord with Draft Policy PM1 of the Draft Dover Local Plan and the National Planning Policy Framework.

Residential Amenity

- 2.12 Section (f) of Paragraph 130 of the NPPF requires development to provide a high standard of amenity for existing and future users. The previous schemes were refused in part due to the overbearing and enclosing impact to the adjacent terrace to the west, Minnis Terrace. The relationship between the proposed development and this terrace forms a key consideration for this application, particularly given the large level change between the two sites.

2.13 The proposed terrace will be set off the western side boundary by approximately 2.7m and there is a separation distance of approximately 15.5m to the rear projection and 20m to the rear elevation of the main body of the nearest dwelling within the adjacent Minnis Terrace to the west. The proposed end of terrace dwelling to the east, nearest Minnis Terrace, has been designed to reduce its built form in relation to the adjacent terrace, containing its first floor partially within the roof and set under a hipped roof which pitches away from Minnis Terrace, which will increase the separation to the adjacent terrace and aid this relationship. This unit has an eaves level of approximately 5.4m and a ridge height of 7.2m. The application has been supported by proposed site sections which illustrate the relationship between the proposed terrace and the adjacent Minnis Terrace at intervals (between 5 Minnis Terrace and the front of the site, 4 Minnis Terrace and the centre of the proposed terrace and 2 Minnis Terrace and the rear gardens). These sections demonstrate that proposed development does not intersect the 25 degree line when taken from the midpoint of the closest nearest window (to the ground floor rear projections), which indicates that the proposal would not result in an unacceptable overbearing impact. An example of this is provided at Figure 5 below.

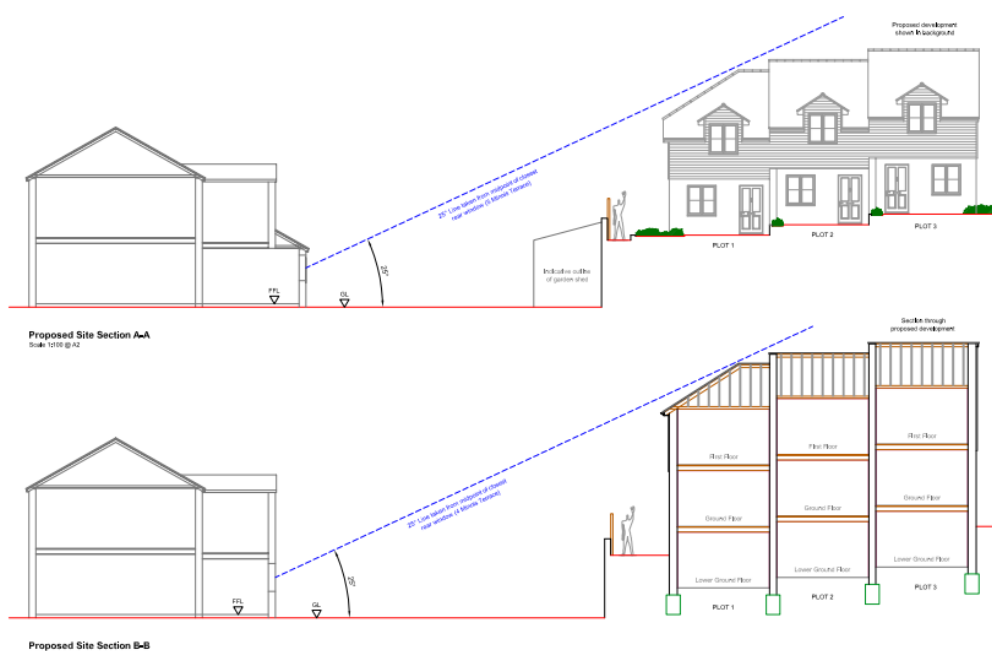


Figure 5: Proposed Site Sections and 25 degree line

2.14 The proposal is also supported by Daylight and Sunlight Assessment which assesses the impact of the proposed development on the sunlight and daylight of the rear windows and external amenity area of 1-5 Minnis Terrace and 110 Hillside Road in accordance with BRE guidance. The vertical sky component assessment concludes that all neighbouring windows meet BRE guidelines for loss of daylight and these properties will not suffer from a noticeable loss of daylight to their windows or the percentage of their habitable floor area from which the sky is visible. The sunlight annual probable sunlight hours meets BRE guidelines for loss of sunlight with good results, meaning there will be no undue loss of external sunlight experienced by neighbouring properties from their windows. The sunlight overshadowing of amenity space assessment meets BRE guidelines with good results, resulting in no undue loss of external sunlight to neighbouring properties amenity space. The Daylight and Sunlight Assessment

concludes that the proposal satisfied all relevant BRE requirements for daylight and sunlight and the neighbouring properties.

- 2.15 The proposed development, given the additional built form proposed and the steep land level change between Minnis Terrace and the application site will result in a greater impact to the residential amenities of the occupiers of Minnis Terrace with regards to their light, outlook and sense of enclosure/overbearing impact, in comparison to the existing situation. The supporting Daylight and Sunlight Assessment demonstrates that the proposal would satisfy all relevant BRE guidance and would not result in an undue or unacceptable loss of daylight and sunlight to the windows or external amenity areas of these neighbours. In addition, the proposed section plans indicate that the application of the rule of thumb 25 degree rule does not result in an unacceptable overbearing impact. On the basis of this supporting information and evidence provided, together with the separation distance provided to the adjacent neighbouring terrace and the reduced built form of the first floor/hipped roof, the proposed development is not considered to result in an unacceptable impact with regards to light, outlook and an overbearing/enclosing impact. The terrace would extend a minimal additional depth of approximately 1m beyond the rear elevation of 110 Hillside Road to the east, which would not result in harm to this adjacent neighbour.
- 2.16 In terms of overlooking, the proposed dwellings habitable rooms are served by front or rear facing windows, with the rear elevation containing a window to each storey. Whilst the proposed dwellings will be sited on a raised ground level in relation to the adjacent Minnis Terrace, given the position of the rear elevation of the proposed development in relation to this adjacent terrace, views from these windows will be oblique, restricted views, which are not considered to be significantly harmful. The proposed rear patio and garden is stepped, with a 1.8m high side boundary treatment to plot 1 which corresponds with the ground level of the site, which will prevent harmful overlooking from the external amenity space. Views to the adjacent dwellings to the east will also be oblique. The terrace is served by a central window to each side elevations which will serve bathrooms which are not habitable spaces. These windows will be obscured glazed and non opening up to a height of 1.7m above internal finished floor level, which will not result in harmful overlooking to the adjacent neighbours each side. The proposed development is therefore not considered to result in unacceptable impacts with regards to overlooking or a loss of privacy.
- 2.17 In terms of the living conditions of the future occupants, the proposed dwellings are provided with a comfortable internal layout. Whilst not yet adopted, the dwellings would accord with the relevant Nationally Described Space Standards for a 3 bedroom, 3 storey dwelling. All primary habitable rooms will be served by front or rear facing windows which will provide a good standard of light, outlook and ventilation. Each dwelling will be provided with a modest rear garden which will provide suitable external amenity space and cycle storage. Refuse storage provision has been appropriately and discreetly integrated into the layout of the development.
- 2.18 The application site is located in close proximity to the railway line to the rear of the site, with an approximate 24m separation distance from the rear elevation of the proposed terrace. In order to safeguard the future occupants from undue noise, disturbance and vibrations Environmental Health require a condition to be secured which requires a noise and vibration survey in relation to the railway line to be carried out, to inform mitigation measures to be implemented and maintained if required such as sound insulation and anti-vibration treatments of

the foundations, in accordance with the appropriate standards. This condition will be secured should permission be granted in order to provide an acceptable standard of amenity for future occupants of the proposed dwellings in this regard.

- 2.19 The proposed development is therefore considered to provide an acceptable standard of residential amenity for existing adjacent neighbours and the future occupants of the proposed dwellings, in accordance with Draft Policy PM2 of the Draft Dover District Local Plan and paragraph 130 of the National Planning Policy Framework.

Highways

- 2.20 The application site is located within a suburban/edge of centre location, which in accordance with Policy DM13 which sets out the applicable parking requirements, would necessitate 1/1.5 spaces per 3 bed dwelling. The site is located within relatively close proximity to local shops and amenities on London Road to the south east, together with being served by bus services and is therefore considered to be relatively sustainably located. As such, the provision of 1No. parking space per dwelling is considered to be sufficient for this location and would provide an appropriate balance between suitable parking provision and a landscaped and compatible frontage. The proposed parking spaces would be provided with sufficient visibility splays with no obstructions over 1.05m above carriageway level.

- 2.21 The proposed development would result in the loss of existing parking to the frontage of the existing garages and garage provision. Representations received suggest that the existing garages are primarily used for storage purposes and are in a poor state of repair, but that the frontage parking is utilised by occupants of the surrounding area who would be displaced should the proposal be granted. There is unrestricted on street parking provision in Hillside Road and surrounding roads. Concerns raised relating to existing parking pressures and highway issues arising from the use of the route by HGVs are noted. However, it is not considered that the additional modest demand arising from the provision of 3No. dwellings, which are provided with 1No. off street parking space per unit and the loss of the existing garages and parking within this relatively sustainable location would result in a significant additional or detrimental impact to the surrounding parking provision and highway amenity and safety. Similarly, the vehicular movements associated with these dwellings are not considered to significantly affect or alter the vehicular movements in the locality. The proposed development is therefore considered to be acceptable in terms of highway amenity and highway safety.

Ecology

- 2.22 Paragraph 174 of the NPPF requires proposals to protect and enhance sites of biodiversity or geological value, minimise impacts on and provide net gains for biodiversity. The application is supported by a Preliminary Ecological Appraisal. The submitted PEA concludes that the no impact is expected to protected species, and no further works or surveys are recommended. The PEA does however recommend a suitable bat sensitive lighting condition is secured, consideration is given to the timing of clearance works in relation to their impact upon breeding birds, and ecological enhancement measures are incorporated into the proposal, with suggested enhancements provided. In the interests of protecting and enhancing biodiversity, these recommendations will be secured

by appropriate safeguarding conditions/informatives should planning permission be granted.

- 2.23 There is a need to consider the likely significant effects on European Sites and the potential disturbance of birds due to increased recreational activity at Sandwich Bay and Pegwell Bay. In this instance, the application site is located outside the 9km zone of influence radius of the Thanet Coast and Sandwich Bay SPA and is therefore not subject to the required mitigation for additional recreational pressures arising from new residential and applicable tourism development, in accordance with Draft Policy NE3. The Thanet Coast and Sandwich Bay SPA and Ramsar Mitigation Strategy is still considered to be effective in preventing or reducing the harmful effects of increased use of these protected sites.

Impact on Drainage/Sewer

- 2.24 The combined public sewer crosses the application site to the rear of the proposed dwellings. There will be an approximately 1.5m separation distance to the sewer at the closest point to the rear of plot 3, with the separation progressively increasing given the angled siting of the sewer, to over 4m at the greatest point. Southern Water advise that a 3m clearance from built development is required to protect the sewer from construction works and allow future maintenance access. Southern Water further advise that if consent is granted, a pre-commencement condition is required for the developer to agree with southern water the measures to be taken to protect the public sewers.
- 2.25 The proposed built development will fall partially within the 3m clearance area of the public sewer. The impact upon the public sewer is a legal matter between the two parties. However, it is considered appropriate in order to address this and safeguard the public sewer, to secure a pre commencement condition requiring details of measures to be taken to protect the public sewer and mitigate against the proposed development are submitted and approved by the LPA in agreement with Southern Water. Provided this condition is secured and discharged, the impact of the development upon the adjacent public sewer would be acceptable in this regard.

Other Matters

- 2.26 Given the sensitivities and constraints of the site, and in order to safeguard the character and appearance of the area and the residential amenities of the adjacent Minnis Terrace it is considered necessary and appropriate to remove permitted development rights in this instance.

3. Conclusion

- 3.1 Overall, the proposal would provide an additional three dwellings upon previously developed land within the urban confines which is acceptable in principle. The development is considered to provide a suitably comfortable and compatible form of development upon this sensitive and constrained site, which integrates with and responds to the surrounding built environment and level changes. The proposal is supported by information and evidence, which together with the layout, siting and reduced built form of the first floor/hipped roof of the proposal in relation to the adjacent Minnis Terrace is not considered to result in unacceptable harm with regards to loss of light/outlook and an overbearing impact and would result in an acceptable impact upon residential amenity in all

other respects. The development will be provided with sufficient car parking provision and is not considered to result in a significant additional or adverse impact to the surrounding parking provision, highway amenity or highway safety. Relevant ecology and drainage matters can be safeguarded by applicable conditions, which are recommended to be secured. The proposed development is therefore considered to be acceptable and present sustainable development in accordance with the applicable policies and the NPPF, and it is recommended for approval.

g) Recommendation

I PLANNING PERMISSION BE GRANTED, subject to conditions:

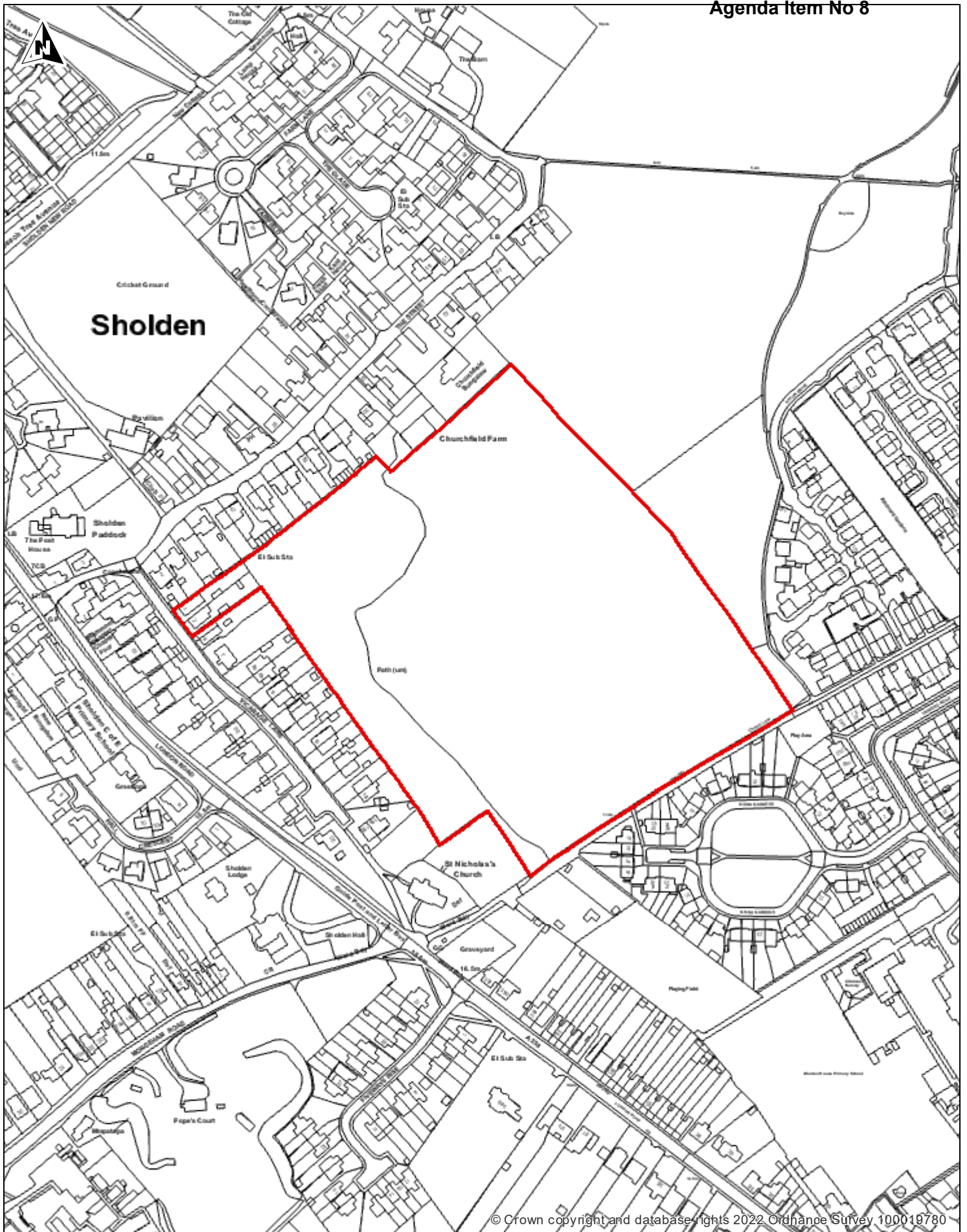
1. Time Limit
2. Approved plans
3. Samples of materials
4. Windows/doors aluminium frames set in reveals
5. Landscaping
6. Refuse and cycle storage
7. Provision and retention of parking
8. Visibility splays
9. Removal of PD rights
10. Noise vibration survey prior to commencement and scheme of mitigation measures implemented and maintained
11. Details of measures to protect public sewer and mitigate the proposed development agreed prior to commencement
12. Lighting design strategy for biodiversity
13. Ecological enhancement measures in accordance with recommendations

Informative: Consideration given to timings of clearance in relation to breeding birds.

II Powers to be delegated to the Head of Planning and Development to settle any necessary planning conditions in line with the issues set out in the recommendation and as resolved by the Planning Committee.

Case Officer

Jenny Suttle



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22/00817

Land At Church Field Farm
The Street, Sholden
CT14 0AL

Dover District Council
Honeywood Close
White Cliffs Business Park
Whitfield
DOVER
CT16 3PJ



Note: This plan is provided for purposes of site identification only.

- a) **DOV/22/00817 - Reserved Matters application pursuant to outline permission DOV/17/01345 for 48 dwellings, up to 64-bedroom care home, associated infrastructure, landscaping, layout, scale and appearance (including discharge of condition 9 – landscaping of DOV/17/01345) - Land at Church Field Farm, The Street, Sholden**

Reason for report – Number of contrary views (6)

- b) **Summary of Recommendation**

Approve Reserved Matters application

- c) **Planning Policy and Guidance**

Core Strategy Policies (2010): CP1, CP6, CP7, DM1, DM11, DM13, DM16, DM17

Local Plan (2002) Saved policies: CO8

Draft Dover District Local Plan to 2040

The Consultation Draft Dover District Local Plan is a material planning consideration in the determination of this planning application. At this stage in the plan making process (Regulation 19) the policies of the draft can be afforded some weight, but this depends on the nature of objections and consistency with the NPPF. Draft policies SP1, SP2, SP4, SP5, SP11, SP13, SP14, SP15, CC1, CC2, CC4, CC6, CC8, PM1, PM2, PM3, PM4, H1, TI1, TI2, TI3, TI5, NE1, NE3, NE5, HE1 and HE3.

National Planning Policy Framework (NPPF) (2021): Paragraphs 7, 8, 11, 92, 100, 104, 110, 111, 112, 113, 119, 124, 130, 131, 157, 174, 180, 197

National Design Guide & National Model Design Code (2021)

- d) **Relevant Planning History**

17/01345 - Outline application for up to 48 dwellings (comprising up to 14 affordable dwellings and up to 34 market dwellings), up to 64 bedroom care home (C2 use), publicly accessible open space (including children's play area), attenuation pond, and creation of vehicular access (two dwellings to be demolished) (appearance, landscaping, layout and scale of development to be reserved). – Refused - Allowed at appeal

- e) **Consultee and Third-Party Representations**

Representations can be found in the online planning file. A summary has been provided below:

Sholden Parish Council – Objects to the application for the following reasons:

- Breaches planning law in respect of not complying with statutory time limits.
- There exists an unsigned, draft “Statement of Common Ground” in relation to the appeal of the outline application
- In order for development to commence land needs to be sold.
- The site has re-wilded and various eco-systems may have formed.

- The lack of development, over three years, has blighted the area.
- The Inspector's Decision was based on one tract of land with one development. The applicant wants to create two parcels of land with two different developments – residential and healthcare.
- Lack of adequate parking for care home.
- The principle of development on Land at Churchfield Farm is no longer established.
- Access via Vicarage Lane is no longer achievable.
- Traffic Regulation Order consultation should take place prior to RM being approved.
- The S106 Unilateral Undertaking is no longer valid
- Proposals do not address designing out crime
- Lack of emergency access
- Breaches NPPF Paragraph 109: Impacts on the local highway network

National Highways- No objection

Natural England– No comments

Environment Agency- No comments

Southern Water – No objection

KCC Minerals and waste- No objection

KCC PROW– No comments

KCC LLFA- No objection

KCC Highways – *First response*: Further details are required in relation to the extent of the adoptable highway, swept path drawings for a refuse freighter and visitor parking. Details of the location of the bin stores are required as they are to be between the operative and resident drag distances.

Second response: Swept path drawings have been illustrated. This requires a degree of residential and operative drag distance in the eastern parameter of the site as there is no turning available at Plot 24. Details of the location of the bin stores are required as they are to be between the operative and resident drag distances.

The access road represents a straight road which does not meet the criteria for the required vehicle speeds of 20mph. Some road narrowings are indicated, although should there be no opposing traffic these will do little to slow vehicles. A tabletop feature appears to be indicated at the junction of Plots 41 / 34 and 12 / 13, whereby further details are requested.

The applicant suggests that the 6 car parking spaces at the access are proposed for visitor use and will offset the proposed tandem parking along the main access route. It is noted that there are landscaped build outs along the highway. However, the concern remains that due to the proximity of the spaces, the build outs may result in vehicle parking in a manner to the detriment to highway safety.

Kent Police- Made a number of comments, including in relation to defensible space, external lighting and cycle storage.

DDC Environmental Health Object to the application as the reserved matters application does not include a Phase II contaminated land assessment. Raise concerns raised relating to lighting, odour, and noise and have asked for conditions to be attached relating to these.

DDC Housing- The Affordable Housing requirement at this site was secured under a Section 106 agreement. The affordable housing must be provided in line with that document. Discussions with the applicant in relation to the location of the properties and identification of a Registered Provider to acquire the properties, would be welcome.

DDC Ecology – As this is a reserved matters application, condition 7 of 17/01345 securing ecological mitigation should be informed by up-to-date surveys, satisfied that no further information is necessary in this respect at this time. Advise that, if the ecological mitigation requires amendments to the landscaping as a result of the updated ecological surveys, the applicant will have to ensure that the approved plans are amended. It will not be acceptable to 'fit' the ecological mitigation to the submitted landscaping.

DDC Tree officer– Comments in relation to replacement of proposed trees.

Third party Representations: 6 objections have been received as below:

- The development would cause traffic congestion,
- Result in a strain on local resources and facilities,
- Lead to a reduction in quality of life to local residents,
- Importance of retaining separation between Sholden and Deal, with the undeveloped site having the function of a "Green Wedge".
- The site is not allocated.

f) **1. The Site and the Proposal**

1.1 The application site of approximately 5.58ha, consists of disused overgrown farmland and is located at the rear of properties along the Street and Vicarage Lane, which are to the North and West of the site respectively. The topography of the site is such that the land gently slopes down from the highest point in the south west portion to the lower point in the north east of the site. A public right of way runs along the southern edge of the site. The grade II listed Church of St. Nicholas faces onto London Road. The church's graveyard to the rear adjoins the site's south-western corner. The eastern edge of the site abuts arable farmland.

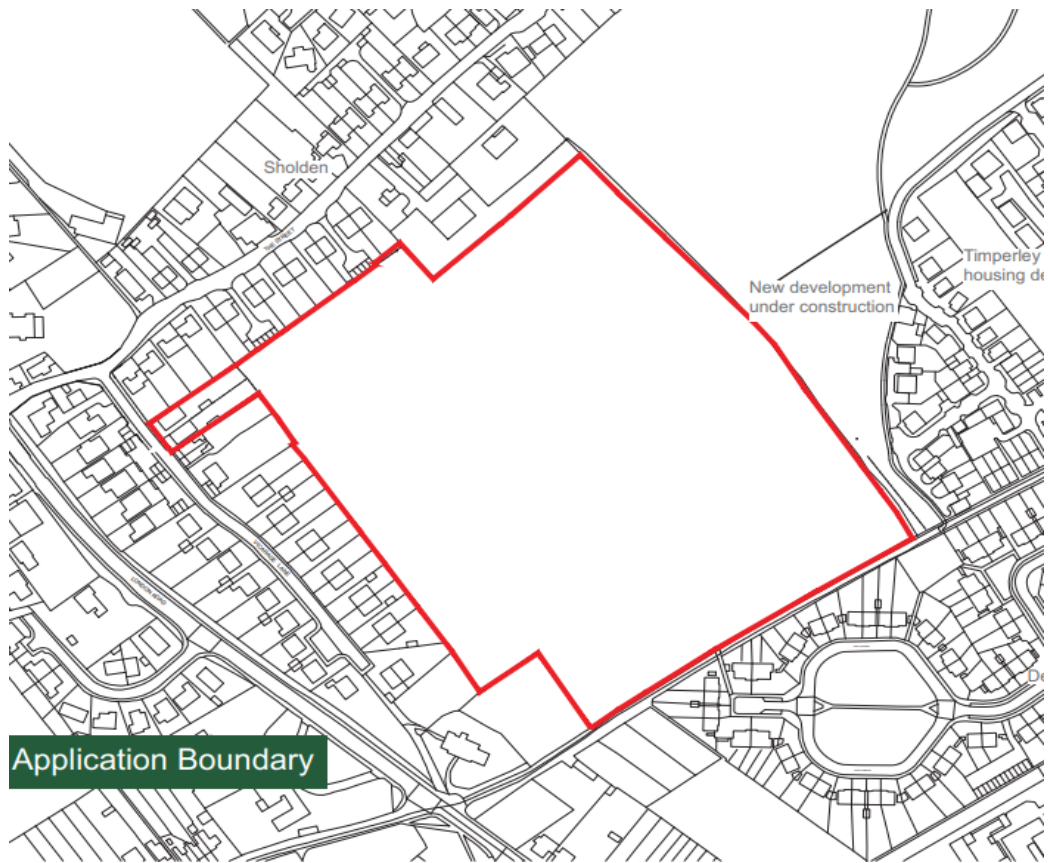


Figure 1: Site location Plan, not to scale



Figure 2: Aerial Photograph

- 1.2 This application seeks reserved matters approval for the erection of 48 no. dwellings and a 64 bed. care home and associated infrastructure, pursuant to outline permission DOV/17/01345. The reserved matters for which approval is sought are appearance, landscaping, layout and scale.

- 1.3 The conditions of the outline permission require that full regard should be had to the principles set out in the Design and Access Statement and that RM should be in accordance with the approved plans: application boundary 17-23-PL-220A and site access plan 16228/SK/04F. In addition, any application for approval of reserved matters shall be accompanied by an up-dated design and access statement and phasing programme. An indicative masterplan was submitted as part of the outline planning permission. Whilst this is indicative, regard should be had to whether the principles are adhered in this submission.



Figure 3: Proposed site plan (not to scale) Affordable homes shown as red/green dots



Figure 4: Proposed site axonometric, not to scale



Figure 6: Proposed street elevations



Figure 7: Care home elevations, not to scale

1. 4 Access was approved as a detailed matter, shown below in figure 8, as part of the outline planning permission and includes amendments to the highway on The Street.

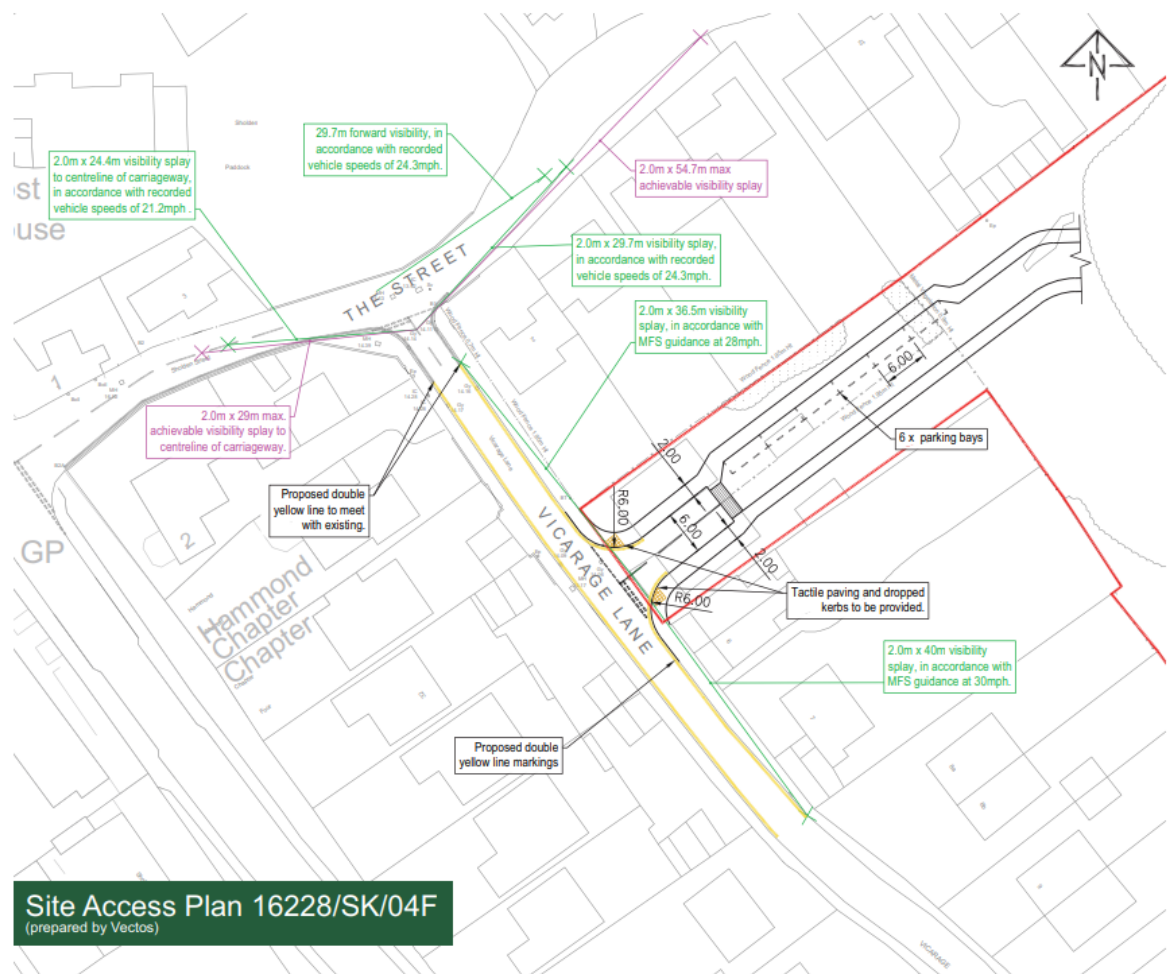


Figure 8: Site access plan (approved under outline permission), not to scale

2. Main Issues

2.1 The main issues for consideration are:

- Appearance, scale, layout, landscaping and compliance with outline.
- Impact on living conditions relating to appearance, scale, layout, and landscaping.
- Highway issues relating to the layout and parking provision.
- Other Matters:
 - Housing mix
 - Ecology
 - Flood risk and drainage
 - Archaeology
 - Contamination
 - Compliance with outline permission in other respects

Assessment

Principle of Development

- 2.1 The principle of residential development has already been accepted under the outline planning consent (reference DOV/17/01345). This reserved matters application is to consider the detailed issues of appearance, landscaping, layout, scale and internal access only.

Impact on Character and Appearance

- 2.2 Policy SP1 states development should contribute to climate change mitigation through use of low carbon design to reduce energy consumption in buildings, sustainable construction techniques, water, energy and resource efficiency, renewable and low carbon technologies, maximisation of green infrastructure, reduction of the need to travel and provision of sustainable transport options.
- 2.3 Draft policy SP2 seeks that new developments are designed to be safe and accessible, to minimise the threat of crime and promote social interaction and inclusion through the provision of high-quality people focussed spaces. All new development should achieve a high standard of design internally and externally, and should have accessible, high-quality greenspaces, and spaces for play and recreation.
- 2.4 Draft policy PM1 requires that development achieves a high quality of design, promotes sustainability, and fosters a positive sense of place. It also states development should respect and enhance character to create locally distinctive design or create character where none exists. The siting, layout and design of vehicle and cycle parking should be sensitively integrated into the development so as not to dominate the landscape. Appropriate provision for service areas, refuse storage (including waste and recycling bins), and collection areas should be made in accordance with the nature of the development. Further to this, PM1 requires new development to be designed to give priority to people over cars and prioritise sustainable transport choices.
- 2.5 The proposals include a developable area of 2.4 hectares containing 48 no. dwellings and a 64 bedroom care home, and in addition to this, 3.4 ha of public open space. The developable area is located at the north west side of the site and the open space is located to the southern and eastern sides. It is considered that the layout reflects the plans submitted at outline stage. This includes vehicle, cycle and pedestrian access via a new T junction onto Vicarage road (with demolition of two existing houses), leading to a principal street through the site which runs parallel to vicarage road, in turn this street leads to secondary and shared surfaced streets at the southern end of the site. A separate street leads off to the care home located at the north of the site, which has it's own dedicated turning head.
- 2.6 The net density of the residential area containing dwellinghouses is approximately 30 dph which combined with the care home, is considered to represent efficient use of land and accords with adopted local plan policies. Heights of two storeys are proposed, with the care home ridge at 8.7m above ground level and the dwellinghouses up to 8.5m in height above ground level. The density and scale are therefore considered appropriate to the surrounding context.

- 2.7 A hierarchy of streets has been proposed, containing different house types, different building to street distances, surfacing materials and parking types to better distinguish between streets and help create legibility and identity. The principal street through the development has a verge and is tree-lined on one side. The scheme has been designed to allow good walking and cycling connectivity, with convenient and accessible routes which are overlooked. A range of vehicle parking arrangements have been proposed, including on plot, in front and to the side of dwellings and as such it is considered that parking would not visually dominate the development.
- 2.8 Active frontages and natural surveillance opportunities have been provided, including to streets, parking areas and open space. Houses on junctions are generally provided as corner turners or with windows to the flank elevations. Dwellings on the southern and eastern sides of the development would face out onto the open space.
- 2.9 In relation to refuse and recycling storage a free-standing store is provided for the care home to the west of the building, and it is considered details of this can be secured through condition. For the dwellinghouses, it is considered that there is adequate space for refuse and recycling bins on the driveways at the side of the dwellings.
- 2.10 In terms of appearance, the dwellings have been designed with a contemporary aesthetic, with pitched roofs, generously sized windows and areas of brickwork detailing, using a palette of materials consisting of red brickwork and dark grey roof tiles, with powder coated aluminium window frames, rainwater goods and canopies above front doors. Garages would be in brickwork and dark grey roof tiles to pitched roofs. In most instances where boundaries between dwellings would be visible, 1.8m brick walls are proposed, with the closed boarded fences proposed to the rear gardens of dwellings. These details ensure that from public vantage points, the development maintains a high-quality character.
- 2.11 Affordable homes are provided at 29% and are considered to be well-distributed across the development and do not appear different in design to market homes in relation to form, scale or appearance.
- 2.12 The care home makes use of the same contemporary aesthetic with a pitched roof, brickwork to the elevations, with large areas of brick banding and powder coated windows and rainwater goods. The floorplan is H in shape, representing an efficient building form for this type of building. The care home has a generous and well landscaped south facing garden. With the imposition of a condition requiring samples and/or details of the external materials to be submitted for approval, it is considered the proposal is acceptable in this respect.
- 2.13 The proposed development would exceed current building regulations in terms of energy and water efficiency. This would include the use of photovoltaic and/or solar thermal roof mounted panels and/or air source heat pumps. These features have not been indicated on the plans, however, it is considered that a condition can be added requiring details.
- 2.14 Along the western boundary is an existing belt of trees, this tree belt would be retained and included in a 10m wide landscape buffer between the rear gardens of Vicarage Road and proposed dwellings on the site would also back onto this buffer.

- 2.15 The public open space totals 3.4 ha and includes a locally equipped play area (LEAP), existing woodland, new tree and structure planting, grassed amenity areas, including an informal “kick about” area, and planted areas including native hedgerows, wildflower and wetlands meadows and pond-edge planting. The LEAP would be a minimum of 400m² in size, in accordance with Fields In Trust’s (FIT) national standards. A network of footpaths runs through the open space, with connections provided in three places to the public right of way running along the southern boundary of the site.
- 2.16 Two surface water attenuation basins would be provided within the open space as part of the Sustainable urban drainage (SUDS) strategy. The basins would have 1:5 sloped embankments. One of the basins would include a pond, which would be a permanently filled water body.
- 2.17 A landscape scheme has been submitted with the Reserved matters to address the requirements of condition 9 of the outline permission. An additional condition will be added to the reserved matters approval requiring management and maintenance details for the hard landscaped areas. Details relating to the provision and management of the LEAP have not been provided and a condition will be imposed to secure this. Comments have been raised by the DDC tree officer relating to securing replacement trees if trees on the site die. This is already covered by condition 14 of the outline permission. It is considered an additional condition should be added to the reserved matters in relation to new trees planted as part of the proposals.
- 2.18 The layout in general reflects the illustrative masterplan submitted under the outline application. The proposals are considered to be in accordance with the application boundary and site access plan (including the provision of six publicly available parking spaces within the site), as required by condition 4 of the outline permission. The reserved matters proposals are considered to have full regard to the principles set out in the Design and Access Statement and are up-dated accordingly. and phasing programme, as required by condition 6 of the outline permission. Overall, it is considered that the layout, landscape, scale and appearance of the development overall is acceptable and complies with adopted and draft local policy and the aims of the NPPF.

Impact on Residential Amenity

- 2.19 Draft policy PM2 relates to quality of residential accommodation and requires that all new residential development, must be compatible with neighbouring buildings and spaces and not lead to unacceptable living conditions for neighbouring properties through overlooking, noise or vibration, odour, light pollution, overshadowing, loss of natural light or sense of enclosure. Development should be of an appropriate layout with sufficient usable space and contain windows in all habitable rooms to facilitate comfortable living conditions with natural light and ventilation. Whilst the Nationally Described Space Standards are yet to be formally adopted, they are referenced in the emerging plan in respect of internal accommodation. Well-designed private or shared external amenity space should be provided on-site, that is of appropriate size and fit for purpose.
- 2.20 In terms of future residents, the proposed layout would ensure sufficient privacy outlook and daylight. The proposed dwellings would be of a good size, with private rear gardens. It is not considered that any dwelling would be unacceptably impacted by noise or disturbance. The dwellings are considered to

be provide an acceptable standard of accommodation and would meet the nationally described space standards, having good floor to ceiling heights and have generously sized windows to allow internal daylighting. The proposals indicate that 30% of the scheme will be built to a minimum M4(2) standard. The care home provides bedrooms of 15m² and associated facilities for residents. The proposals appear to show good sized windows and well-designed external amenity space.

- 2.21 The nearest existing properties are to the west and north of the site. The distances retained would be in excess of 23 m to the north and 34 m to the west, as such it considered that there would be no harmful impact upon these properties in terms of privacy, light and outlook.
- 2.22 The DDC Environmental Health have asked that conditions are attached which require details of external lighting to be submitted. They have also asked for a condition in relation to hours for deliveries for the care home, and details of noise and odours to protect residential amenity of existing and future residents.
- 2.23 Overall, it is considered that the proposals would be acceptable in relation to living conditions of future residents and impacts on neighbouring residential amenity.

Impact on Highways and Parking Provision

- 2.24 Highways England have raised no objections to the application. Strategic highways matters were dealt with at the outline application stage. KCC Highways requested further details to be submitted in relation to the extent of the adoptable highway, swept path drawings for a refuse freighter, the location of visitor parking and details of the bin stores/collection points to be provided. It is considered that this can be secured by condition, albeit the planning permission could not require the roads themselves to be offered for adoption by KCC.
- 2.25 KCC Highways also made comments regarding the design of the primary access road through the development. Specifically, that the straightness of the road in some places means that the design criteria for the required vehicle speeds of 20mph are not met in some places. They required details of the proposed tabletop features at junctions and it is considered these details can be secured by condition.
- 2.26 In addition, KCC Highways made further comments regarding the location of visitor parking, and that the landscape/ verge build outs along the primary access road may result in vehicle parking in a manner to the detriment to highway safety, due to the distance of visitor parking from some plots in this part of the development.
- 2.27 An adequate number of visitor parking spaces is proposed, however these are spread somewhat unevenly throughout the development. There were no visitor spaces proposed in the locality of plots 3-11 and 42-48 which are located along the primary access road through the development. Plot 46 would have been in the worse situation, where the nearest visitor space was approximately 70m distance. Although this is not ideal and wouldn't be convenient, it is not considered that this would be likely to cause a severe impact on the highway network or prejudice safety and, as such it is not considered that this would justify a reason for refusal.

2.28 However, to address this the applicant has proposed that one additional visitor space is proposed nearby to plots 4 and 5. This is indicated in figure 9 below.

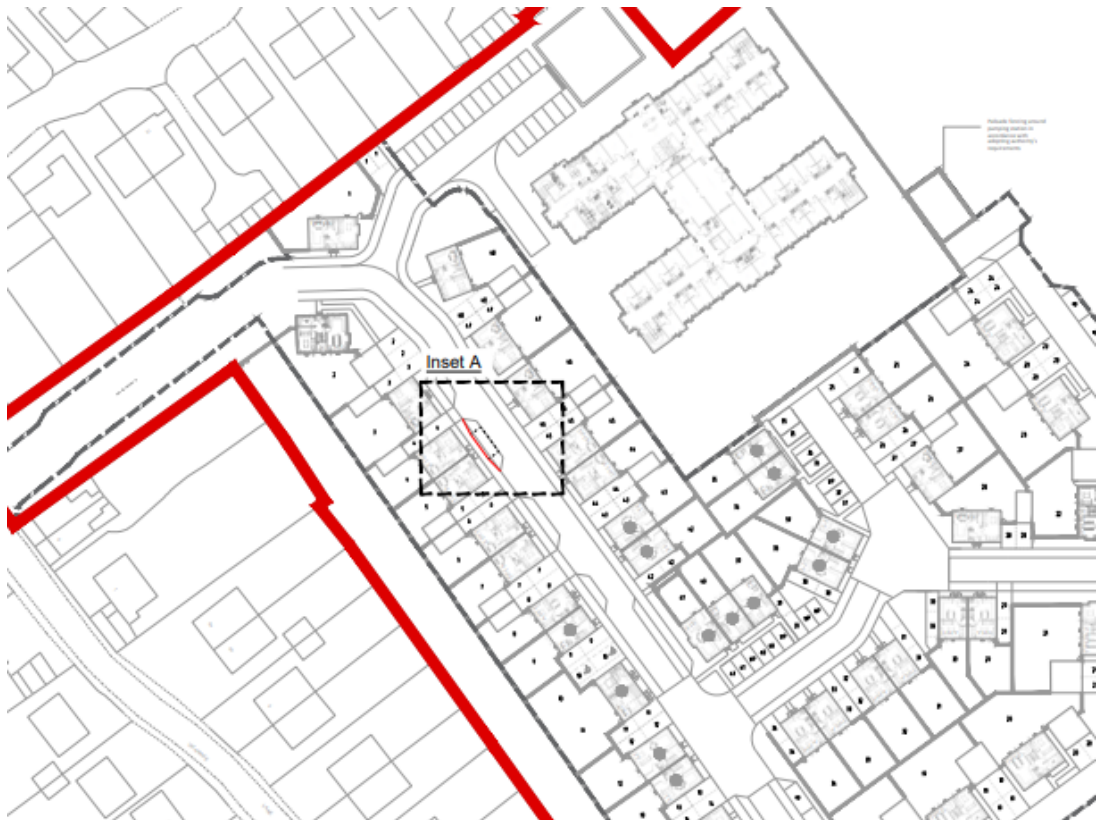


Figure 9: Site plan showing additional parking space, not to scale

2.29 Sholden Parish Council has commented that the proposed access is no longer as agreed. The vehicle access is proposed in the same place on the reserved matters plans, as the outline permission and the proposals accord with the outline permission. They have also commented that the proposals include double yellow lines on Vicarage Lane, these were shown on the plan approved at outline stage for site access. This reserved matters application does not relate to access and as such this considerations are beyond the scope for considerations under this reserved matters application.

2.30 Draft policy TI3 requires proposals to meet the requirements of Kent Design Guide Review: Interim Guidance Note 3. In relation to the residential development 108 parking spaces are proposed and 21 visitor spaces are proposed. This is considered an adequate number for the proposed number of dwellings and the location of the development, with each dwelling provided with at least two spaces and meeting the requirements of Kent Design Guide. Policy DM13 sets requirements for parking provision in compliance with SPG4 which sets out standards for the maximum number of parking spaces. For the care home 20 vehicle spaces are proposed, this number falls below the maximum set out in SPG4.

2.31 It is considered there is suitable provision of visitor spaces located in proximity to counter the use of tandem spaces, and that generally this strikes the right balance between on-plot parking provision, 'designed-in' on-street parking, and a development that is not dominated by parking.

- 2.32 Sholden Parish Council has raised concerns over bicycle security. It is considered that details of secure and covered cycle storage for each unit and the care home should be required by planning condition. As such it is considered that the proposals meet the requirements of policy DM13 and draft policy TI3 in relation to parking.

Other Material Considerations

Housing Mix

- 2.33 14 affordable homes and 34 market homes are proposed. Of the affordable homes, 71% would be for affordable rent and 29% would be intermediate homes. 2 x 1 bedroom flats, 5 x 2 bedroom and 6 x 3 bedroom dwellings and 1 x 3 bedroom units are proposed as affordable. Of this mix, 4 would be shared ownership and 10 affordable rent. It is considered that this adequately reflects the affordable housing mix set out in the s106 unilateral undertaking.
- 2.34 In relation to market housing, 9 x 2 bedroom homes (26.5%), 16 x 3 bedroom homes (47%) and 9 x 4 bedroom homes (26.5%) are proposed. With the exception that no one bedroom properties are proposed, it is considered this roughly reflects the requirements of the district as set out in the SHMA 2019. Whilst the lack of one bedroom dwellings counts against the scheme, it is considered that this carries limited weight given the scale of the development and given that the scheme otherwise accords with the districts needs.

Ecology

- 2.35 Concerns have been raised that since the outline permission was granted vegetation on the site has grown forming potential habitats for species and that the destruction of habitats would not be conducive to sustainable development, thus undermining the principle of development that has been established. Condition 7 of the outline permission requires an Ecological Mitigation and Management Plan to be submitted and approved prior to commencement of development. This includes the requirement for survey work to inform measures put forward.
- 2.36 The submitted landscaping and layout is considered to reflect the principles at outline. Ecological information is not required to be submitted for this reserved matters application. It is considered that the requirements of condition 7 provide adequate safeguarding for ecological mitigation by requiring up to date surveys to be carried out. If changes are required to the landscaping proposals for ecological mitigation and impact avoidance measures a revised reserved matters application would need to be submitted for consideration. DDC concur with this view and Natural England raise no comments.

Flood Risk and Drainage

- 2.37 A drainage strategy was submitted as part of the outline permission, which outlined the broad principles which were to be relied upon in order to achieve sustainable drainage. Condition 9 of the outline permission requires a surface water drainage scheme based on sustainable drainage principles to be submitted and approved prior to commencement of development. The proposals submitted identify two surface water attenuation basins within the open space serving two separate catchment areas. The southern-most basin would include a pond, which would be a permanently filled water body.

- 2.38 A foul drainage pumping station is indicated on the reserved matters proposals. Condition 10 of the outline permission requires a scheme for the proposed means of disposal of foul water discharge from the development and a timetable for its implementation to be submitted and approved prior to commencement of development.

Archaeology

- 2.39 Archaeology was considered at the outline stage and condition 12 was imposed which required a programme of archaeological field works to take place prior to development. If important remains are found or further archaeological works are required, safeguarding measures are to be put in place to preserve remains in situ. It is considered that the condition imposed on the outline permission would acceptably address any archaeology which may be uncovered during the construction phase of the development.

Contamination

- 2.40 This was considered at outline stage and condition 11 was imposed to secure ground investigation work and remediation or mitigation if necessary. DDC Environmental health have been consulted and have raised comments relating to the wording of this condition. However, this is beyond the scope of the reserved matters application and cannot be reconsidered as part of this application.

Compliance with Outline Permission and Timings

- 2.41 Sholden Parish Council have raised concerns relating to compliance with the outline permission and the phasing plan set out in the design and access statement. The reserved matters application has been made within 3 years of the decision date of the outline permission (4th July 2019) and as such is in accordance with this permission. The phasing programme within in the reserved matters design and access statement sets out that the sale of the land is planned after the reserved matters approval has been determined.
- 2.42 The Inspector's Decision was based on one site with one development (up to 48 dwellings plus 64 bed care home). The reserved matters application proposes the same and as such two new applications are not required. This also applies to comments made in relation to the validity of the S106 unilateral undertaking.

3. Conclusion

- 3.1 The details submitted with this application in respect of the appearance, landscaping, layout and scale of the development are considered acceptable, demonstrating that the development would cause no unacceptable impacts in respect of the character and appearance of the area, the living conditions of neighbours or future occupants or the local highway network. The proposals are acceptable in all other material respects, subject to the conditions attached to the outline planning application. The application is recommended for approval. The outline application includes most of the conditions required to ensure a high-quality development. Some additional conditions, listed below, have been added to this reserved matters application.

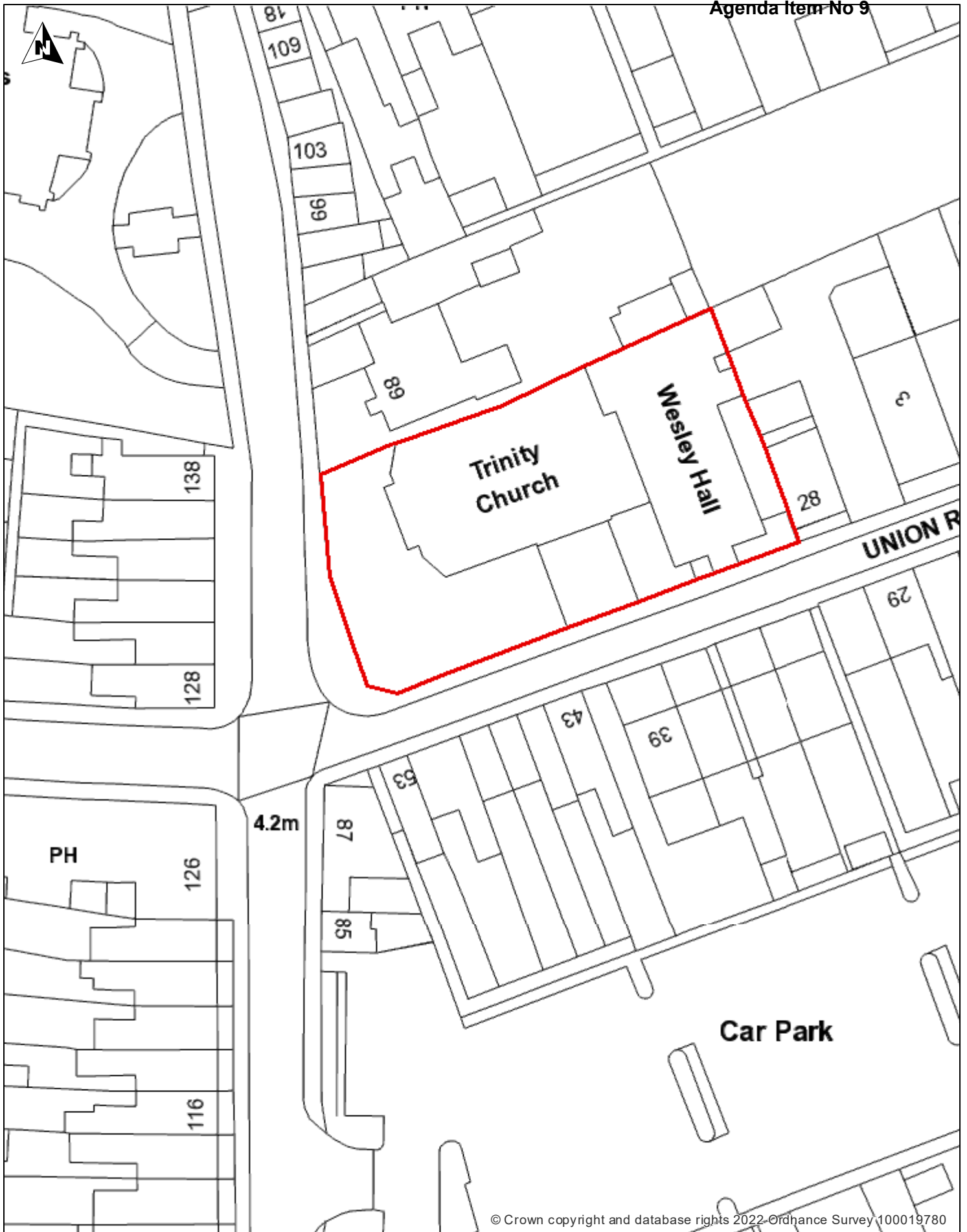
g)

Recommendation

- I Approve the Reserved Matters application, subject to the following conditions:
- 1) Approved plans.
 - 2) Samples of materials
 - 3) Details of measures required to provide on-site energy generation.
 - 4) Details of bicycle storage
 - 5) Provision of vehicle parking spaces
 - 6) Details of the raised table-top highway features
 - 7) Details of refuse/recycling storage and collection points
 - 8) Details of existing and proposed finished ground levels
 - 9) Details of children's play space
 - 10) Landscape management plan for hard landscape areas
 - 11) Planting, seeding or turfing be carried out in the first planting seasons
 - 12) Details of all external lighting in public realm areas
 - 13) Noise levels of Care Home fixed plant
 - 14) Ventilation and filtration equipment for Care Home
 - 15) Hours of deliveries for Care home
- II Powers to be delegated to the Head of Planning and Development to settle any necessary planning conditions in line with the issues set out in the recommendation and as resolved by the Planning Committee.

Case Officer

Nicola Kingsford



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22/01400

Trinity Methodist Church
Union Road, Deal
CT14 6EA

Dover District Council
Honeywood Close
White Cliffs Business Park
Whitfield
DOVER
CT16 3PJ



Note: This plan is provided for purposes of site identification only.

- a) **DOV/22/01400 – Extension of existing vehicle access, installation of bollard and security lighting to front and side elevations (part retrospective) - Trinity Methodist Church, Union Road, Deal**

Reason for report – Number of contrary views (7)

- b) **Summary of Recommendation**

Planning permission be granted.

- c) **Planning Policy and Guidance**

Core Strategy Policies (2010): CP1, DM1, DM2

Land Allocations Local Plan (2015): DM27

Local Plan (2002) Saved policies:

Draft Dover District Local Plan to 2040

The Consultation Draft Dover District Local Plan is a material planning consideration in the determination of this planning application. At this stage in the plan making process (Regulation 19) the policies of the draft can be afforded some weight, but this depends on the nature of objections and consistency with the NPPF. Policies

National Planning Policy Framework (NPPF) (2021): Paragraphs 7, 8, 11, 130, 194-202

Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended)

- d) **Planning History**

DOV/14/00800 – Erection of barbed wire fencing with supports to the roof area - Granted.

- e) **Consultee and Third-Party Representations**

Representations can be found in the online planning file, a summary is provided below:

Deal Town Council – object due to light pollution causing distress to local residents

DDC Environmental Protection – I am now able to confirm that lighting lux levels have been submitted by the applicant's agent and are included in Drawing No. 221013-S-001 Rev A (CAD Solutions – revised). Levels into windows in residential properties in both Union Road and West Street are shown to be below guidelines published by the Institute of Lighting Professionals. Environmental Protection have no further observations or objections to the application.

KCC Highways – It would appear that this development proposal does not meet the criteria to warrant involvement from the Highway Authority in accordance with the current consultation protocol arrangements.

Heritage – it is not considered that this application requires specialist input in respect of the built historic environment.

Third party Representations: _ objections have been received and are summarised below:

- Unacceptable level of light into residential households.
- Light levels lead to road safety issues.

f) **1. The Site and Proposal**

1.1 The application site comprises a car park which serves the Trinity Methodist Church, which lies within the urban boundary of Deal. The site and surrounding area are flat and Union Road is a one-way street with no on-road parking. There are pavements on either side of the street. The street comprises of a mixture of terraced houses and a detached house as well as another car park at the other end of the street. The main access to the site is located on West Street.



Figure 1 – Site location plan

1.2 The site is bounded by 28 Union Road to the northeast and 33 – 53 Union Road to the south. The site is adjacent to both the Middle Street Deal conservation area and the Nelson Street Deal conservation area.

- 1.3 The application is for new low-level lighting which has already been installed to safeguard the parking of vehicles and movement of users around the parking area especially in the winter months. Blood donor sessions are held frequently and the loading and unloading equipment from the vehicles is often completed in early/late hours of the day and lighting is required for health and safety reasons. The lighting is installed on the southeast and southwest elevations.
- 1.4 The proposed lights are black circular units with LED 18 Watt output installed at 0.375m height above the car park level. The lights are turned off at 10:00pm.

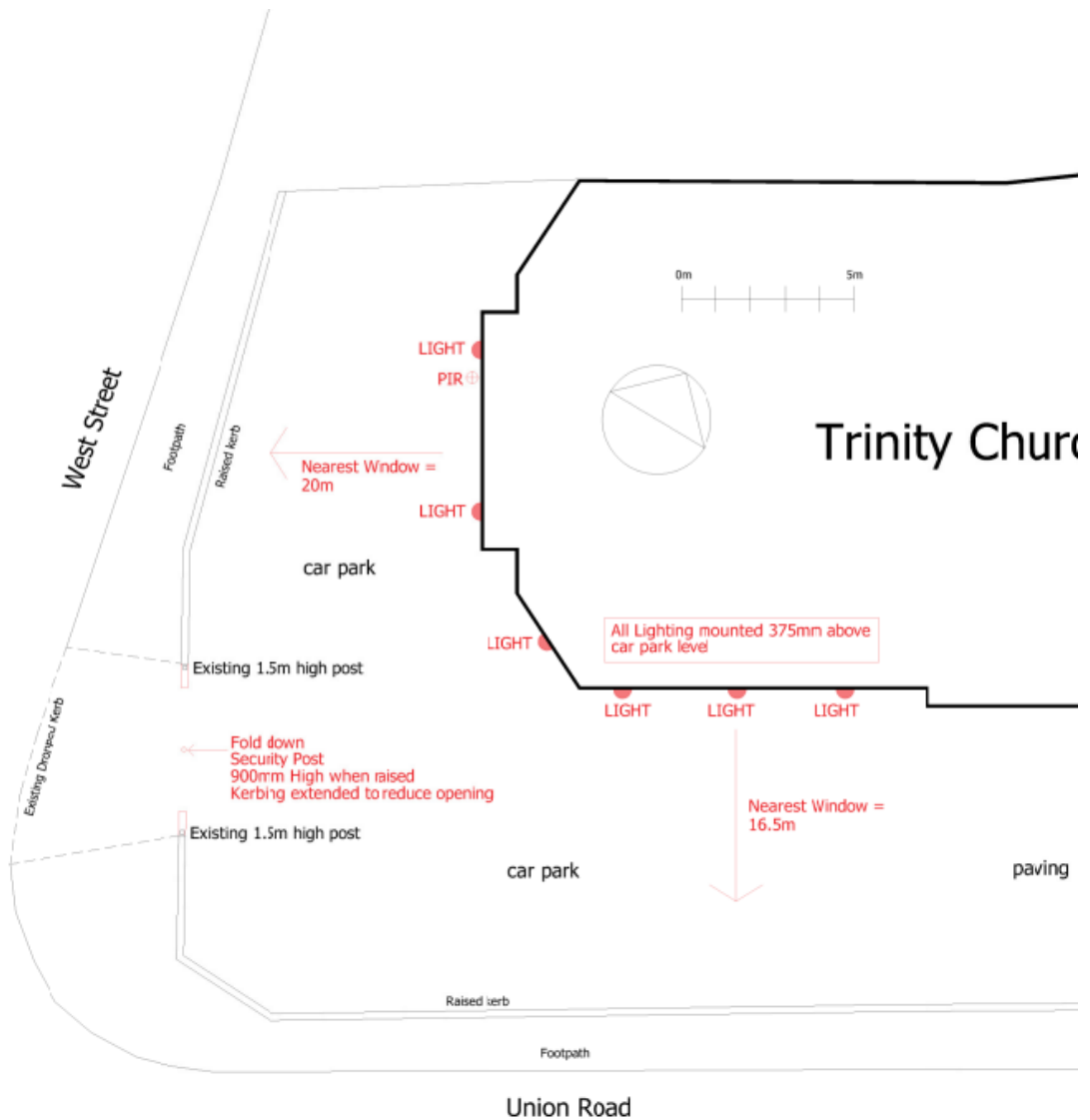


Figure 2 – Block plan

- 1.5 The bollard is a fold down security post which is 0.9m high when raised and is located on the southwest boundary of the site in the middle of the entrance.
- 1.6 No alterations to the access to the site are required within this application. A new security post will be installed to stop vehicles parking in the private car park when the car park is not in use by the Church users.

2. Main Issues

2.1 The main issues for consideration are:

- Principle of the development
- Impact on the character and appearance
- Impact on residential amenity

Assessment

Principle of Development

2.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

Impact on Character, Appearance and Conservation Area

2.3 As the site lies adjacent to two conservation areas, special regard must be had for the Planning (Listed Building and Conservation Areas) Act 1990, section 72(1). The proposed lighting would be located to the front and sides of the church and therefore will be visible from the street and conservation areas.

2.4 The proposals are considered to be minor in nature and would therefore have limited impact. Due to the scale of the proposals, particularly in the context of the site, they are unlikely to have a negative impact on the street scene or surrounding countryside area. Furthermore, the lighting levels received by the agent have confirmed that the level of lighting would be acceptable. Given the scale of the proposals and its proximity to the adjacent conservation areas it is considered that these would not result in any substantial harm and would therefore comply with paragraphs 194-202 of the NPPF.

Impact on Residential Amenity

2.5 There are residential properties located opposite and adjacent to the site. Concern has been raised by the objecting comments regarding the levels of light causing issues to neighbouring residents.

2.6 Details shown on drawing 221013-S-001 Rev A illustrate the levels of lighting produced by the security lighting. A comment received by Environmental Protection has confirmed that the lighting levels into windows in residential properties in both Union Road and West Street are below the guidelines produced by the Institute of Lighting Professionals and therefore they have no objection to the application. For this reason, the impact on neighbouring properties by the lights are considered to be negligible. Consequently, the development is considered to accord with the amenity objectives of Paragraph 130 of the NPPF.

3. Conclusion

3.1 The proposals, due to their siting and scale would be unlikely to negatively impact the wider landscape and would preserve the character of the surrounding conservation areas. The proposal for lighting, a bollard and extension of existing

vehicle access are considered acceptable and accords with planning policies identified above. Consequently, the proposal accords with the aims and objectives of the NPPF and Development Plan policies and is recommended for approval.

g) Recommendation

- I PLANNING PERMISSION BE GRANTED, subject to conditions:
 - 1. Time Limit
 - 2. Approved plans
 - 3. Hours and luminance levels for lighting

- II Powers to be delegated to the Head of Planning and Development to settle any necessary planning conditions in line with the issues set out in the recommendation and as resolved by the Planning Committee.

Case Officer

Alice Pitts